

CITY OF ROSEBURG
PLANNING COMMISSION
Monday, November 5, 2018
City Hall Council Chambers – 7:00 pm

10/29/18

NOTE: It is up to each of you as Commissioners and Staff to let staff know before the day of the meeting if you will not be able to attend. Thank you.

AGENDA

- I. CALL TO ORDER
- II. ROLL CALL: Chair Ron Hughes Daniel Onchuck Victoria Hawks
 Charlie Allen Kerry Atherton Ron Sperry
 Shelby Osborn
- III. APPROVAL OF MINUTES
 A. September 17, 2018 – Planning Commission Meeting
- IV. AUDIENCE PARTICIPATION: See Reverse for Information
- V. PUBLIC HEARING
- VI. BUSINESS FROM STAFF
 A. Pine Street Waterfront Overlay – Work Session
 B. Director’s Report
- VII. BUSINESS FROM THE COMMISSION
- VIII. NEXT MEETING – December 3, 2018
- IX. ADJOURNMENT

*** * * AMERICANS WITH DISABILITIES ACT NOTICE * * ***

Please contact the office of the City Recorder, Roseburg City Hall, 900 SE Douglas Avenue, OR 97470-3397 (Phone 541-492-6700) at least 48 hours prior to the scheduled meeting time if you need an accommodation. TDD users please call Oregon Telecommunications Relay Service at 1-800-735-2900.

The agenda packet is available on-line at: <http://www.cityofroseburg.org/your-government/commissions/planning-commission/>

AUDIENCE PARTICIPATION INFORMATION

The Roseburg Planning Commission welcomes and encourages participation by citizens at all meetings. To allow the Commission to deal with business already scheduled, it is asked that anyone wishing to address the Commission follow these simple guidelines.

Non-Agenda Items

If you wish to address the Planning Commission on a matter not on the agenda, at the appropriate time please raise your hand and wait to be recognized by the Chair. Persons addressing the Commission must state their full name and address for the record. All remarks are to be directed to the Planning Commission. For items not on the agenda the presentation should be brief and be on a topic of interest to the Planning Commission, such as a general land use matter. These presentations are reserved for new material which has not been previously considered. The Planning Commission will not be taking action on any item presented under Audience Participation and if needed will provide direction to staff for appropriate follow-up.

Agenda Items

For items on the agenda you will be given an opportunity to address the Commission once the item is called. Agenda items typically begin with establishing those who have party status, (to be explained by the Chair), a report from staff, followed by Commission questions to staff, then the applicant along with anyone he wishes to call as a witness on his behalf will be called to speak, followed by those with party status. After all initial testimony is completed there will be an opportunity for rebuttal. Everyone addressing the Commission is subject to questioning. After the hearing portion of the item is completed, the Commission will discuss the matter with a motion for consideration being presented and acted on.

Once final action is taken on Quasi-Judicial matters, the action of the Commission can be appealed to the City Council within 14 calendar days of the decision by filing a Notice of Review with the Community Development Department. Action on Legislative matters is typically a recommendation to the City Council and will be forwarded to them for final consideration.

For further details or information please contact the Community Development Department Monday through Friday, 8:00 a.m. to 5:00 p.m., at Roseburg City Hall, 900 SE Douglas Avenue, Third Floor, Roseburg OR 97470, phone number 541-492-6750, or e-mail cmatthews@cityofroseburg.org

**CITY OF ROSEBURG
PLANNING COMMISSION MINUTES
September 17, 2018**

CALL TO ORDER

Chair Ron Hughes called the regular meeting of the Roseburg Planning Commission to order at 7:00 p.m. on Monday, September 17, 2018, in the Roseburg City Hall Council Chambers, 900 SE Douglas Avenue, Roseburg, Oregon.

ROLL CALL

Present: Chair Ron Hughes, Commissioners Charlie Allen, Victoria Hawks, Dan Onchuck, Shelby Osborn and Ron Sperry.

Absent: Kerry Atherton - excused.

Others present: Community Development Director Stuart Cowie, Associate Planner John Lazur and Department Technician Chrissy Matthews.

APPROVAL OF MINUTES -

Commissioner Allen moved to approve the August 6, 2018 minutes as presented; Commissioner Onchuck seconded. Motion passed unanimously.

AUDIENCE PARTICIPATION – Barb Taylor declared she would like to speak regarding the sidewalk portion of the hearing.

PUBLIC HEARING – Legislative Amendment

Chair Hughes read the procedures to be followed for this Legislative Public Hearing. He then opened the public hearing.

Commissioner Sperry declared he has met with the Taylors, specifically about city sidewalks which is on the Agenda for tonight's meeting. The Taylors did not retain his services but he advised them on their sidewalk concerns.

Mr. Cowie informed the Commission that of the Proposed Code Amendments, number 2, *Amends site review standards for development that requires sidewalk construction*, will not be included in the discussion at this hearing. The sidewalk portion will require some language changes and will be brought before the planning commission at a later date. Once the public hearing is closed a discussion regarding feedback from the Taylors and the Commission are appropriate.

Mr. Cowie reported staff will present on Items 1 (Mini-retail Business/Food Trucks), 3 (removing "federally funded projects" from the Floodplain Overlay Regulations) and 4 (amending Residential Care Facilities and Nursing Homes to be permitted outright versus conditionally permitted in commercial zones) of the Staff Report which are consistent with the statewide comprehensive plan. Staff will amended the Finding of Fact and Order to remove any reference to the sidewalk text amendments to reflect Items 1, 3 and 4 only of the Staff Report.

Land Use Regulation Text Amendments - File No. LUDO-18-002

Mr. Lazur provided the Staff Report into the record and provided a summary of the following proposed code amendments:

Amending the definition of "mini-retail business" to include mobile vehicles and carts, commonly referred to as "food trucks". The code amendment also proposes to allow mini-retail businesses to be permitted outright in any commercial or industrial zone. The code revision is to streamline the permitting process while ensuring that basic health and safety regulations are met to allow staff to focus on outreach and customer service rather than processing of applications.

A mini-retail business cannot obstruct or be located in the public right-of-way, which includes downtown on-street parking spaces, or restrict access to parking facilities or loading zones. Drive-up windows are not allowed and property owner permission to operate a mobile business on private property is required. Any accessories associated with the business such as tables, trash receptacles and seating must be removed when a vendor vacates the site. All local fire, health and sanitation standards must be followed.

Discussion ensued regarding current food truck vendors and public right-of-way requirements.

Removing "federally funded projects" from the Floodplain Overlay regulations. This regulation was removed at the federal level by executive order, renders itself impractical when a local jurisdiction regulates development based on where it gets its funding.

Mr. Lazur shared that Community Development Associate Planner, Teresa Clemons conducted the five year Community Rating Audit and due to her hard work the City received an improved ranking of seven (7) resulting in a 15% discount on flood insurance policies for the Roseburg community effective May 2019. Mr. Lazur commended Ms. Clemons for her hard work.

Amending Residential Care Facilities and Nursing Homes to be permitted outright versus conditionally permitted in commercial zones. Mr. Cowie shared that this is being amended as it was inadvertently added as criteria for a Conditional Use Permit (CUP). The uses for Residential Care Facilities and Nursing Homes were reviewed regarding their development patterns and possible locations throughout the City. It was determined these types of development fit within allowed uses of the commercial zones.

Hearing no further discussion. The public portion of the hearing was closed.

Commissioner Allen moved to adopt the Amended Proposed Finding of Fact and Order, excluding language regarding sidewalk standards for development, recommending City Council approval of File No. LUDO-18-002 Legislative Text Amendments; Commissioner Hawks seconded. Motion passed unanimously.

The Commission entertained discussion only regarding sidewalk construction and the proposed text amendment language.

Mr. Cowie shared the amendment would apply when public sidewalks are to be constructed. It is intended to consider practicality of new sidewalks and work toward completing gaps in our existing sidewalk infrastructure. The amendment allows for certain minor developments to residential properties such as accessory buildings, accessory dwelling units, additions to residential structures, or the construction of incidental accessory structures to be exempt from sidewalk construction when a property being developed is further than 500 feet from an existing sidewalk on the same side of the street as measured from any of the frontages of the subject property.

About three years ago City Council put an emphasis on the importance of sidewalks constructed throughout the City. Mr. Cowie recognizes the language in the Code needs clarification to define new development and re-development. Discussion ensued regarding the implementation of the proposed 500 foot guideline, the interpretation of gross floor area and the different types of construction that would trigger implementation of sidewalks, and existing sidewalk requirements to meet current standards.

Commissioner Hawks stated, when she served on Council, she recalled sidewalk requirements were meant for new construction and not a remodel or additions.

Mr. Cowie shared there are two financial options for sidewalk construction. A homeowner can sign a Local Improvement District (LID) covenant provided by the City which allows the Public Works Department to install the sidewalks and the homeowner has 10 years to repay the LID. The other option is the homeowner finances the installation of the sidewalk which would be required to be complete before a certificate of occupancy could be issued.

Barb Taylor, 164 W. Cardinal Street, stated Mr. Cowie and Mr. Lazur have been helpful in the process to build an addition to their home. She and her husband have lived there for 30 years and want to make improvements that would enhance their livability and stay in their neighborhood; however, the sidewalk requirements could prevent them from improving their property. Ms. Taylor said her neighborhood has a patchwork of sidewalks. The sidewalk to the east and west is 5 feet wide and would be required to be constructed to current standards of 6' wide making their driveway unusable. Public Works advised the driveway would need upgraded to ADA standards also. The required 6 feet wide sidewalk in the front of their home would be the only sidewalk on Cardinal Street and would be 10 feet from her front door. She also has a fire hydrant and utilities on her lot making it more challenging and more expensive. She is asking for a way to effectively deliver the mandate of the sidewalk construction requirements. She is concerned that the cost and requirements will cause homeowners to sell and not improve their properties. She acknowledged the need for sidewalks and would like the commission to review the requirements.

Mr. Cowie stated he appreciates the Taylor's input as we go through this process of addressing the issues the Taylors are experiencing. Mr. Cowie isn't sure, however, that the adoption of the 500 foot distance would help the Taylor's situation.

Commissioner Osborn inquired if the installation of the sidewalk for the Taylor's property would be installed from the curb out. Mr. Cowie replied W. Cardinal Street is a 60 foot right-of-way and the sidewalk would be constructed from the curb toward the Taylor's property.

Hearing no further discussion, Mr. Cowie stated staff will continue to work on the language and clarification of the text amendments and may get direction from City Council.

BUSINESS FROM STAFF - No business from staff.

DIRECTOR'S REPORT – Mr. Cowie thanked the Commissioners for volunteering their time.

BUSINESS FROM COMMISSION – No business from the Commission.

ADJOURNMENT – The meeting adjourned at 8:34 pm. The next meeting is scheduled for Monday, October 1, 2018.



Chrissy Matthews

Department Technician

Date 26 October 2018
To Project Management Team
Subject Roseburg Pine Street Waterfront Overlay Code Assistance Project
From Erika Warhus, Marcy McInelly, Urbsworks, Inc.
Copy Gil Williams, GreenWorks; Karla Kingsley, Kittelson; Keith Liden, Bainbridge

SCOPE AND BACKGROUND

3.8 Pine Street Waterfront Overlay (PSWO) Draft 2

Purpose of Task 3.8 (From Scope of Work): Consultant shall use input received from the public, PMT, and Code Committee to create a draft and revised Pine Street Waterfront Overlay Draft 2 for PMT review and comment. Consultant shall make minor revisions to Pine Street Waterfront Overlay Draft 2 for use at Planning Commission Work Session 2 after receiving input at PMT Meeting 5 (scheduled for September 20).

3.9 Pine Street Waterfront Draft Overlay Pattern Book

Purpose of Task 3.9 (From Scope of Work): Consultant shall prepare a Draft Pattern Book of design options to accompany the Pine Street Waterfront Overlay Draft 2. The Pattern Book must illustrate – through figures, text, and tables – physical designs that comply with the proposed Pine Street Waterfront Overlay standards. Design options must be provided for development and public realm standards. Figures may be photos, diagrams, and axonometric (i.e., perspective) drawings, and must include annotation and explanatory text. Design options may be arrayed in a table (or menu) format, to indicate that multiple design approaches are acceptable, and to highlight the flexibility of some of the standards.

Project Objective (from the Scope of Work)

The objective of this Project is to create, and guide through adoption, an overlay zone in the LUDR (Land Use and Development Regulations) for the Project Area. The Pine Street Waterfront Overlay (PSWO) must be based on relevant City plans, including the Waterfront Master Development Plan and the Parks Master Plan. The Overlay must help retain the Project Area's historic character, allow multi-modal transportation access, and promote small-scale, pedestrian-oriented development. The Pine Street Waterfront Overlay must include:

- Design standards for small commercial shops and overnight accommodations; and
- Standards for traffic-calming street design, signage, landscaping, lighting, and markings or paving to separate non-motorized transportation from cars. *Per direction received at the PMT Meeting 1, modes do not need to be separate.*

This project is partially funded by a grant from the Transportation and Growth Management (TGM) Program, a joint program of the Oregon Department of Transportation and the Oregon Department of Land Conservation and Development. This TGM grant is financed, in part, by federal Fixing America's Surface Transportation Act (FAST-Act), local government, and State of Oregon funds.

The contents of this document do not necessarily reflect views or policies of the State of Oregon.

CONTENTS OF THIS PACKAGE

Introduction (this memo)

- Description of Attachments
- Overlay and Pattern Book Organization
- Changes Between Draft 1 and Draft 2
- Outstanding Issues
- Overview of PSWO Shared Use Path Design and Shared Parking Issues
- Other Issues for Discussion

Attachments:

- 12.04.140 – Pine Street Waterfront Overlay Draft 2
- Pine Street Pattern Book Draft 1
- Overlay Diagrams (separate PDF)

DESCRIPTION OF ATTACHMENTS

12.04.140 Pine Street Waterfront Overlay Draft 2

The overall purpose of the Pine Street Waterfront Overlay is twofold: To encourage development by charting a clear path to approval and to communicate and illustrate the vision as articulated in the 2010 Waterfront Master Development Plan for this particular area so that new development will implement the vision.

Pine Street Pattern Book Draft 1

The pattern book is an accompaniment to the Overlay and provides visual examples in the form of photographs and diagrams as well as text and tables that show options for meeting the standards of the Overlay.

Overlay Diagrams

All diagrams found in the Overlay are provided a one single file so that they can be reviewed and discussed at a larger, more legible size.

OVERLAY AND PATTERN BOOK ORGANIZATION

Sections and Articles in 12.04.140		Overlay Tables and Figures	Pattern Book Contents
A	Purpose		Introduction Purpose of the Pattern Book Organization of the Pattern Book Background Overall District Character District Connectivity All Modes Accommodated Emergency Access Implementation Flood Plain Requirements Pine Street Victorians
B	Applicability	Figure 2-17: Pine Street Waterfront Overlay	
C	Definitions	Figure 2-18: Section Diagram Figure 2.19: Plan Diagram	
D	Uses	Permitted Uses Conditional Uses Prohibited Uses	
E	Development Zone	Site and Building Standards Architectural Standards Historic Building Standards Figure 2-20: Pine Street Plan Table 2-17: Pine Street Multi-Use Path Standards Table 2-18: Vertical Features and Landscaping Standards Figure 2-21: Multi-Use Path Plan Diagram Table 2-19 – Private Property Standards Table 2-20 – Architectural Standards, New Construction Table 2-21 – Historic Building Options	Patterns Flex Zone Bulbouts Site Design Front Yard Building Shape Porches Considerations Signs Art Parking Management District Markers
F	Signage	Table 2-22 – Sign Standards by Type	
G	Procedures		

Changes Between Draft 1 and Draft 2

Between Drafts 1 and 2, some sections have changed dramatically, while others have stayed the same. With minor exceptions, Purpose, Applicability, and Uses have stayed the same.

Path Design: Substantial changes were made to Table 2-17 Pine Street Multi-Use Path Standards. These revisions address concerns and comments we heard regarding Draft 1 from the Code Committee and Project Management Team (PMT). Draft 2 has less flexibility and more clarity around what is required and what sorts of activities are possible within the zones. Draft 1 provided a less controlled and more random approach to how Pine Street could develop. For example, it allowed property owners to choose their Flex Zone location, either adjacent to their property or adjacent to the railroad.

Draft 2 proposes an alternating pattern of bulbouts with a consistent 20-foot through zone for emergency access. The bulbout locations are determined by lot width, rather than property-owner preference, and are located either adjacent to the property or adjacent to the railroad fence. The alternating pattern creates a traffic-calming effect, with the intent of keeping speeds low so that all modes of travel can be accommodated.

Vertical Features and Landscaping Standards: A new section with required vertical elements and landscaping has been added. These standards apply to the bulbouts as well as the Front Yard Zone. See Table 2-18 Vertical Features and Landscaping Standards for more detail.

Development Capacity: Earlier drafts of the overlay permitted taller building heights and maximum lot coverage. This draft, however, proposes a maximum building height of 2 stories and includes side yard setbacks. These changes are consistent with feedback received from the PMT in an effort to maintain the historic character of the area as well as avoid triggering aerial access of fire trucks which necessitates additional path width.

Private Property Standards: While the Private Property have remained largely the same, the Pattern Book provides details about the character of development, historic preservation, and different ways to comply with these standards. A requirement for porches has been added as well as requirements for the Front Yard Zone. See Table 2-18 for further details.

Resolved Issues

Approach to street design: The overall design of Pine Street was agreed upon after a meeting between the project team and fire and public works officials. The City and project team reached agreement in the needed width of the through zone (20 feet) and acceptance of traffic calming elements through the alternating (chicane) pattern of the bulbouts. The incorporation of traffic-calming measures to ensure a safe and comfortable multi-modal pathway is part of the TGM project goals. Consensus on this issue was needed to move forward with the project.

Approach to utility poles: Existing utility poles currently cause periodic narrowing of Pine Street. While the future placement of the utility poles is unknown, the project team was directed to assume—for the purposes of the overlay and pattern book—that the utility poles will be relocated out of the through zone.

Outstanding Issues

Prohibited Uses: This draft proposes that the Director may approve uses not listed as long as they are in compliance with certain basic standards. See 12.04.140.D.4. Prohibited and Similar Uses. However, consistent with the Land Use and Development Regulations, uses not identified could simply be prohibited. More feedback from the City is needed to resolve this issue.

Easement legal language: While not part of the work of this project, the existing easement language for the Pine Street path is unclear, vehicular use is not specified, and the easement lists the incorrect side of the railroad for City use. This may complicate implementation of Pine Street improvements.

Overview of PSWO Shared Use Path Design and Shared Parking Issues

The permitted uses, along with development standards for building footprint and height, establish the development capacity for the PSWO. They also set the tone for the scale and character of development, consistent with the proposed land uses and development standards. Standards for the Pine Street shared use path address how people will be able to get in and out of the district using all modes of travel (walking, biking, and motor vehicles—shared and other). The design standards emphasize shared use path designs for low speeds and multiple modes, shared parking strategies, and district amenities.

As detailed in the earlier deliverables for this project, Pine Street is not actually a street, but is a shared use path. It does not carry through vehicular traffic and can be treated more as a long driveway with a turn-around at the end. Two-way traffic can be accommodated through queuing. The proposed design standards are intended to provide slow speed access for people walking, biking, or driving. Small on-street parking pockets along the path will provide parking and traffic calming at the same time.

In the proposed design standards, parking happens in the Bulbouts. Activities besides parking are permitted to occupy the space instead of or in addition to parking. Bulbouts will be dedicated, designed and furnished in conjunction with redevelopment of any parcel or site.

Small amounts of parking are permitted on-site, but the usual off-street parking requirements for automobiles have been eliminated. It is intended that a city-provided shared parking lot at the end of Pine Street will provide some parking, as will small amounts of convenience parking on properties and within the Bulbouts. The PSWO will also enable shared parking arrangements with development that is nearby but outside of the study area.

Other Issues for Discussion

Throughout the draft Overlay document are callout boxes that describe issues for discussion, as shown below.

Commentary Consideration or explanatory text.

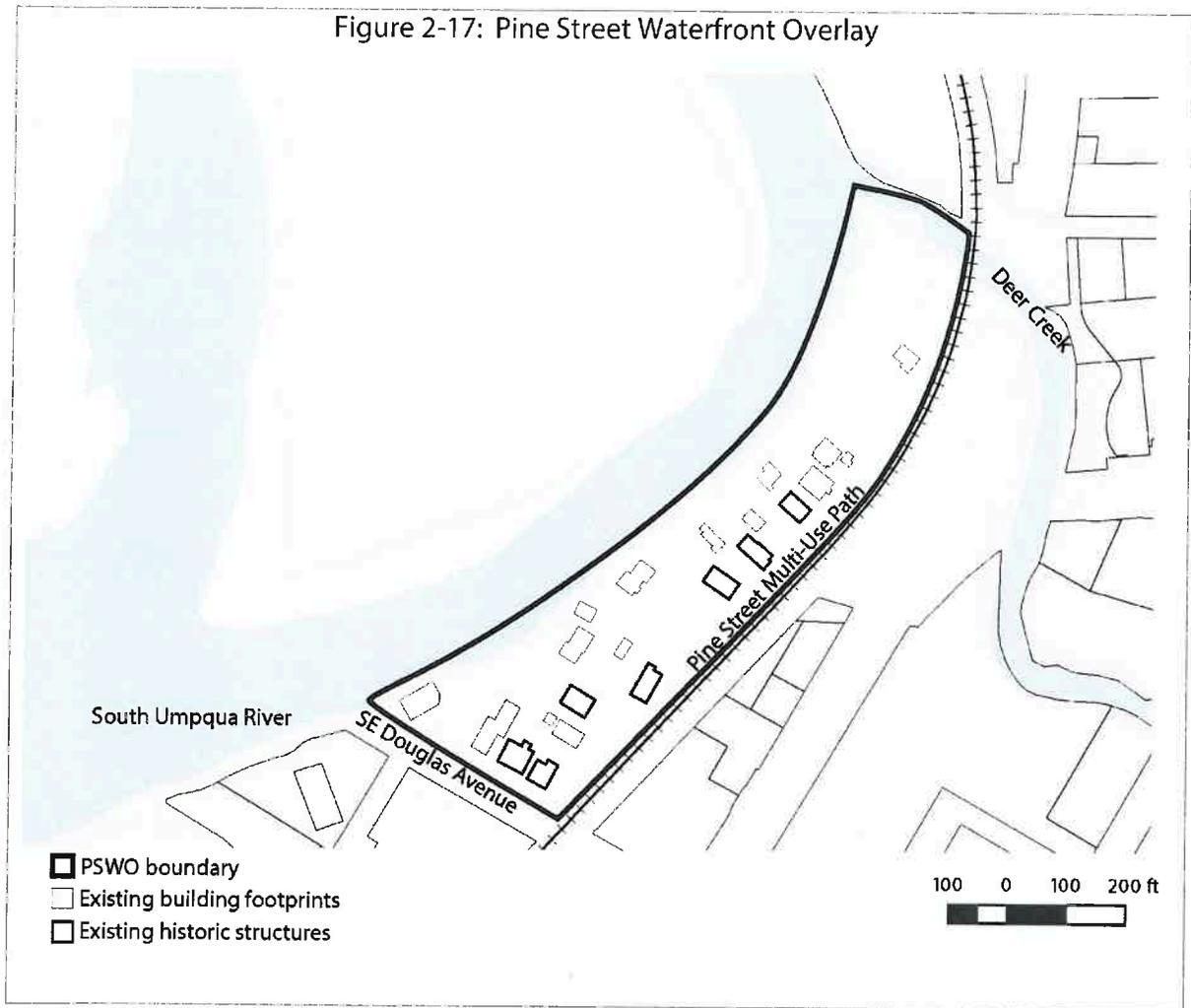
Date 26 October 2018
To Project Management Team and Code Committee – City of Roseburg, Oregon, Pine Street Waterfront Overlay Zone
From Erika Warhus, Marcy McInelly, Urbsworks, Inc.
Copy Andrew Holder, GreenWorks; Karla Kingsley, Kittelson; Keith Liden, Bainbridge

TASK 3.8 – PINE STREET WATERFRONT OVERLAY DRAFT #2 (DELIVERABLE 3.8)

12.04.140 Pine Street Waterfront Overlay

- A. Purpose.** The Pine Street Waterfront Overlay (PSWO) promotes a unique riverfront commercial district along a shared multi-use path. The Overlay is intended to enhance the character of the district by improving multi-modal transportation through pedestrian-friendly and traffic-calming design standards. It will maintain compatibility with existing historic structures while promoting a mix of uses to encourage new small- and medium-scale development. Permitted uses are oriented toward maintaining and promoting the pedestrian character of the area and include residential dwellings above commercial uses, restaurants, sidewalk cafes, retail sales and professional offices, bed and breakfast facilities, and parks and playgrounds. The segment of Pine Street located within the Overlay connects to bike and walking trails around the city and the Transportation System Plan identifies this area as a multi-use path, rather than a street. This means that pedestrians and cyclists take priority.
- B. Applicability.** As illustrated in Figure 2-17, the regulations of the PSWO apply to the area bounded by
- On the north, the edge of Deer Creek;
 - On the east, the edge of the railroad right of way;
 - On the south, the edge of Douglas Avenue; and
 - On the east, the edge of the S. Umpqua River.

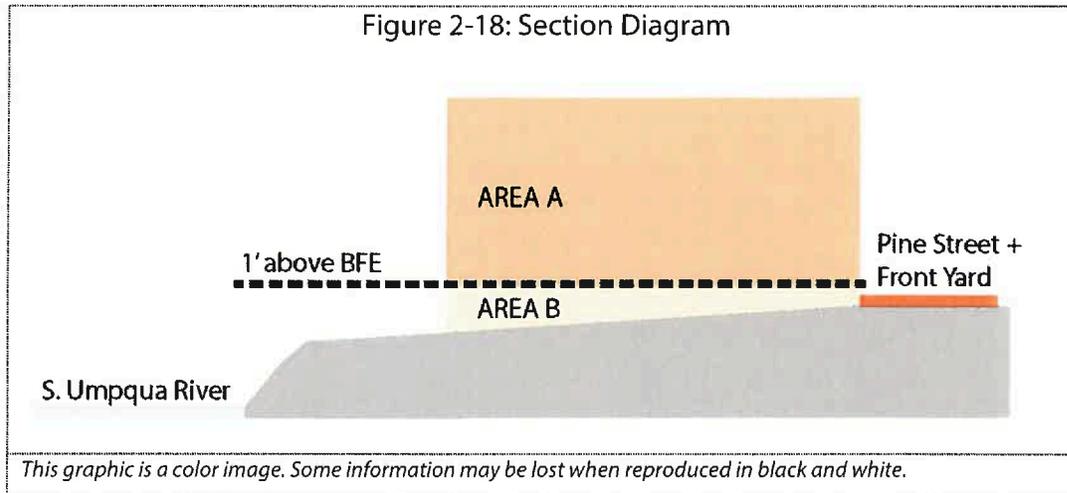
Figure 2-17: Pine Street Waterfront Overlay



C. Pine Street Overlay Definitions. For the purpose of this Section only, the following definitions are established:

“AREA A” The building area that is 1 foot or greater above the Base Flood Elevation (BFE) level.

“AREA B” The building area that is below 1 foot above the Base Flood Elevation (BFE) level.



“BULBOUT” Bulbouts or curb extensions are extensions of the sidewalk space into the roadway space. In the PSWO, they refer to the curbless extensions into the Flex Zone that are marked off with vertical features. They visually and physically narrow the Pine Street Multi-Use Path, slowing motor vehicles while increasing the available space for street furniture, benches, plantings, parallel parking, and street trees.

“FLEX ZONE” Areas marked on the Pine Street Multi-Use Path that are dedicated for use by parked cars, cafe seating, landscaping and other permitted uses as listed in Table 2-17. Flex Zones provide traffic calming through an alternating pattern and are located between the Pine Street Edge and the Railroad Edge on the Pine Street Multi-Use Path.

“FRONT YARD” The area adjacent to the Pine Street Edge where vertical elements, paving and landscaping are required. See Figure 2-19 Plan Diagram.

“LOT FRONTAGE” The edge of private property, called a Site, Lot or Parcel, that is adjacent to Pine Street, a Through Connection, or the South Umpqua River.

“LOT LINE, FRONT” The lot line or lines common to the lot and a street or multi-use path. The front lot line of the parcel is the Pine Street-facing edge, except for parcels fronting on Douglas Street, where the front lot line is the Douglas Street-facing edge. For flag lots, the front lot line is the flagpole end. For lots with more than one edge abutting Pine Street, both abutting edges shall be subject to frontage requirements. The front lot line for all properties facing Pine Street is the edge that is created after the required Pine Street access dedication.

“LOT LINE, REAR” The lot line or lines opposite and most distant from the front lot line. For lots backing onto the river the rear lot line will be defined by the riparian setback.

“PERGOLA” A structure supported by regularly spaced columns, with roof or sides covered with open latticework, sometimes providing a framework for vines and climbing plants. Also called a “Trellis.” Trellises and pergolas cover and frame an outdoor area or passageway.

"PINE STREET MULTI-USE PATH" A dedicated area between the Pine Street Edge and the Railroad Edge for use by all modes.

"PINE STREET EDGE" Where the Private Buildable Zone abuts the Pine Street Multi-Use Path. For lots on Pine Street, it is the same as the Lot Line, Front. See Figure 2-19 Plan Diagram.

"PRIVATE BUILDABLE ZONE" The area between the Pine Street Edge and the Riparian Setback where development occurs. See Figure 2-19 Plan Diagram.

"PORCH" A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space; usually roofed and generally open-sided; it may be partially screened or glass-enclosed. It may be either incorporated into a building or treated as an applied feature on the exterior.

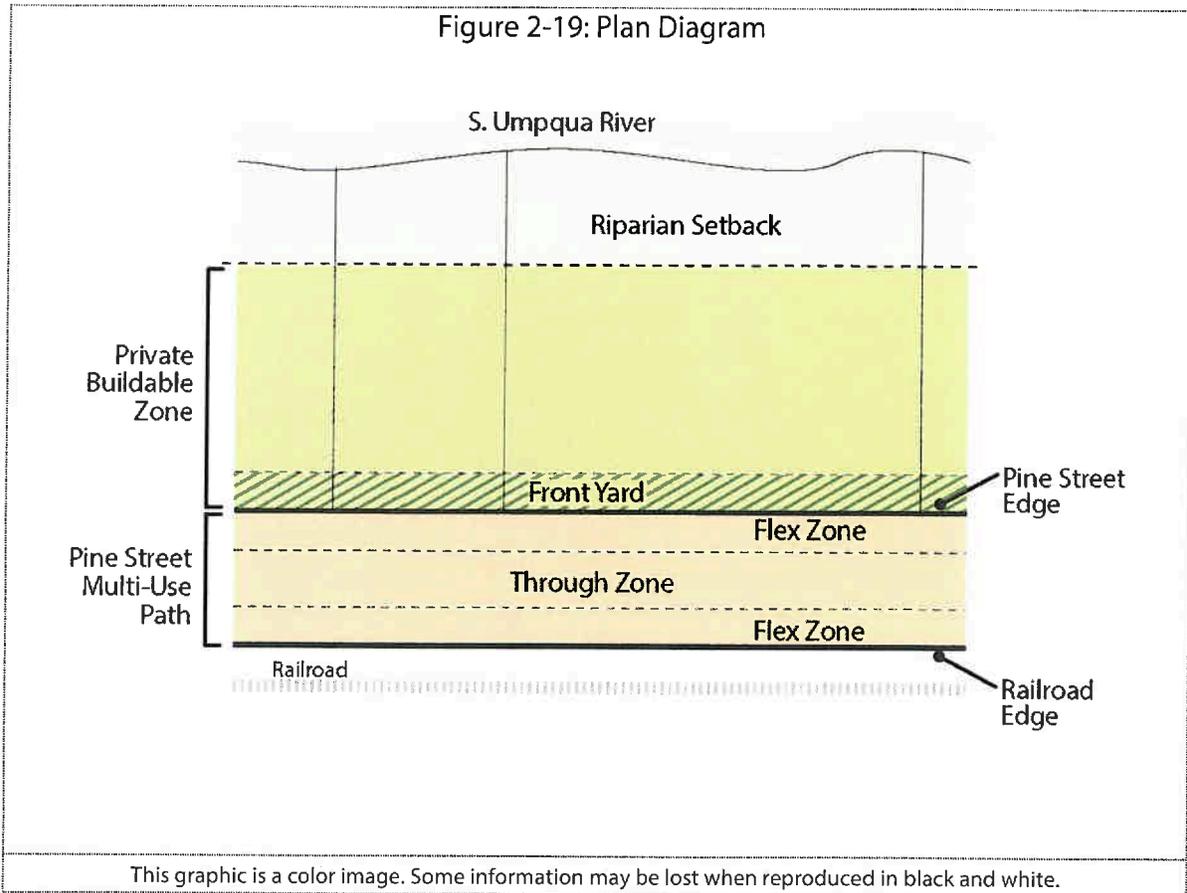
"RAILROAD EDGE" Where the Pine Street Multi-Use Zone abuts the railroad fence. See Figure 2-19 Plan Diagram.

"RETAIL SALES AND SERVICE" Retail Sales and Service firms are involved in the sale, lease or rental of new or used products to the general public. They may also provide personal services or entertainment or provide product repair or services for consumer and business goods. Examples include sales-oriented uses such as furniture, garden supply and art supplies; personal service-oriented uses such as photographic studios, hair and personal care services; and repair-oriented services such as bicycles, clocks and office equipment.

"THROUGH CONNECTION" A passageway connecting the Pine Street Multi-Use Path and the South Umpqua River.

"THROUGH ZONE" On Pine Street, the unobstructed passage area for use by bicycles, pedestrians, and private and emergency response vehicles. See Figure 2-19 Plan Diagram.

Figure 2-19: Plan Diagram



D. Uses

- 1. Permitted Uses.** Uses identified with a “P” in Table 2-16 are permitted as-of-right in the PSWO District, subject to compliance with any other use standards identified in this section and all other applicable standards of this Code. Uses not specifically listed but similar to other permitted uses may be approved by the Director.
- 2. Conditional Uses.** Uses identified with a “C” in Table 2-16 may be allowed if reviewed and approved in accordance with the Conditional Uses Permit procedures of Section 12.10.080 of this Code. Conditional Uses are subject to compliance with any use standards identified in this section and all other applicable standards of this Code. Uses not specifically listed but similar to other conditional uses may be applied for through the Conditional Uses Permitting process as determined by the Director.

TABLE 2-16: Uses

Pine Street Waterfront Overlay		
USE CATEGORY	P – Permitted C – Conditional “-” – Prohibited	Limitations and Qualifications
Specific Use		
RESIDENTIAL		
Dwelling units above commercial structures – Area A	P	(1) One (1) dwelling unit per 800 sq. ft. of lot area
Dwelling units above commercial structures – Area B	-	
Dwelling units subject to Multiple-Family Residential (MR29) – Area A Figure 2-18 Section Diagram	P	
Dwelling units subject to Multiple-Family Residential (MR29) – Area B Figure 2-18 Section Diagram	-	
Boarding/Rooming Houses – Area A	C	
Boarding/Rooming Houses – Area B	-	
PUBLIC / CIVIC		
Library, museums and galleries	P	
Parking lots or structures	C	
Parks and playgrounds	P	
COMMERCIAL		
Art, music, dance school/studio/gallery/supplies	P	
Bed and breakfast facility	P	
Business services or offices; professional offices	P	
Retail sales and service	P	
Restaurants, eating establishments, coffee houses, juice bars, delicatessens, taverns, and similar uses	P	
Sidewalk cafes	P	
Theaters, motion picture production/distribution/services	P	

3. Prohibited and Similar Uses. Uses not identified are prohibited. However, the Director may approve uses not listed in accordance with Section 12.08.040.A. of this code, with the following exceptions:

- a. Similar uses that are determined to have the potential to generate substantial amounts of any of the following shall not be permitted:
 - i. Truck traffic
 - ii. Dust
 - iii. Glare
 - iv. Heat or vibration
 - v. Noise
 - vi. Odors
- b. The following uses and their similar uses are prohibited:
 - i. Activities entailing movement of heavy equipment on and off the site except during construction
 - ii. Agricultural supplies/machinery sales rooms
 - iii. Ambulance service
 - iv. Automobile body shop in conjunction with an auto sales agency; Automobile service station; Automobile, truck, and motorcycle dealers/garages/services stations/washes/detailers; Auto parts/tools supply stores; Mobile home and recreational vehicle sales
 - v. Auto or truck storage as a primary use
 - vi. Builders supplies (including retail sale of lumber)
 - vii. Commercial storage units
 - viii. Crematory or mausoleum; Funeral home
 - ix. Drive-up window service for permitted use
 - x. Plumbing/heating/electrical/sheet metal shop
 - xi. Police, fire and rescue services
 - xii. Printing and publishing
 - xiii. Recreational vehicle parks
 - xiv. Recycling center
 - xv. Stadiums or coliseums;
 - xvi. Telecommunications facilities
 - xvii. Homeless shelters, residential homes, and nursing homes

E. Development Zone

1. Site and Building Standards. The Development Zone is illustrated in *Figure 2-20: Pine Street Plan*.

Figure 2-20: Pine Street Plan shows the developable area within the PSWO. It is bounded by the Riparian Setback (along the South Umpqua River) and the eastern edge of Pine Street. Within this area there are separate development requirements for:

- Pine Street Multi-Use Path (including the Flex Zones), and
- Pine Street private properties.

- a. **Pine Street Multi-Use Path Intent Statement.** The Pine Street Multi-Use Path has an overall width of 27 feet. The Through Zone provides a consistent 20-foot clear width, which is required for emergency vehicle access. Along both sides of the Through Zone are designated 7-foot wide Flex Zones. Vertical features such as bollards, planters, or poles are required in the Flex Zone, in alternating pattern of bulbouts, creating a chicane path for motor vehicles. The staggered or offset pattern of bulbouts creates a visual narrowing of the Through Zone while preserving a consistent 20-foot width.

Each property dedicates land for both the Flex Zones and the overall path width. The location and design of the bulbouts is determined by the width of the lot. Bulbout uses vary, and may include landscaping, parking, or outdoor dining, at the discretion of each property owner.

- b. **Private Properties Intent Statement.** Buildings within the PSWO are small-scale with house-like forms that meet the edge of the Pine Street Multi-Use Path. Buildings may sit along the Pine Street Edge or be setback, allowing for semi-public activities in the Front Yard. Porches and plaza-like spaces in the Front Yard enhance the pedestrian experience.

The Development and Design Standards are listed in Tables 2-17 and 2-18.

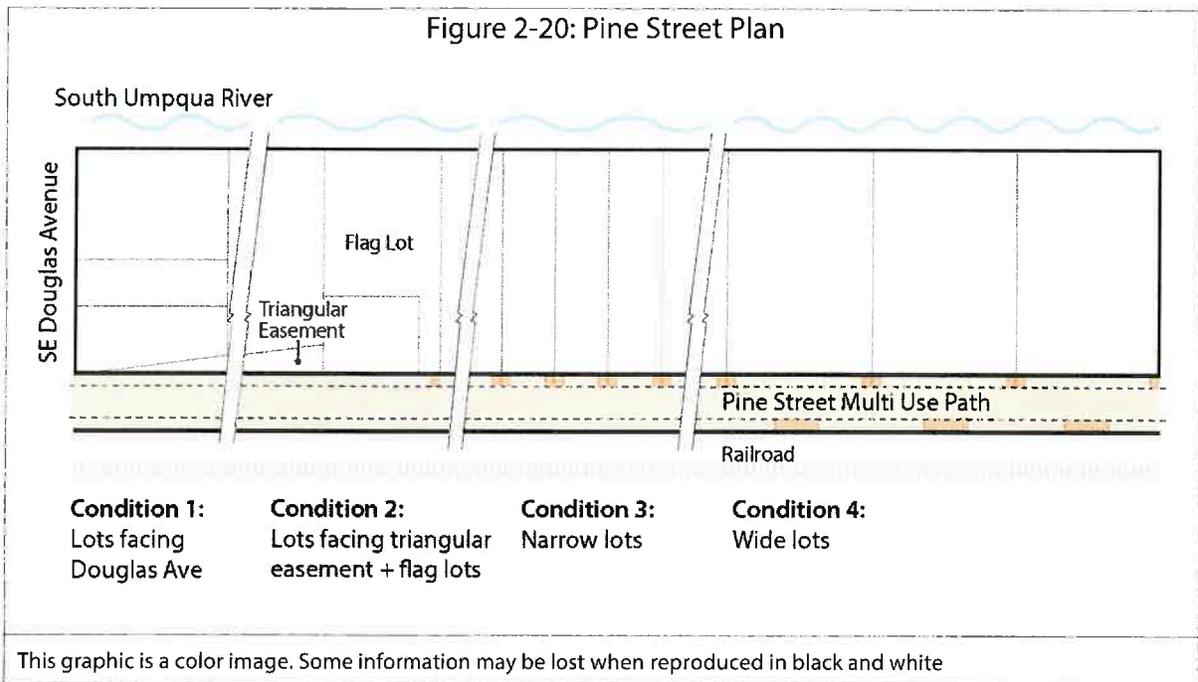


Table 2-17 – Pine Street Multi-Use Path Standards		
Requirement	Standard	Limitations & Qualifications
Pine Street <i>See Pages 20-23 of The Pattern Book</i>		
a) Minimum required width	27 feet	(1) Width is measured from the existing railroad fence on the east edge of Pine Street.

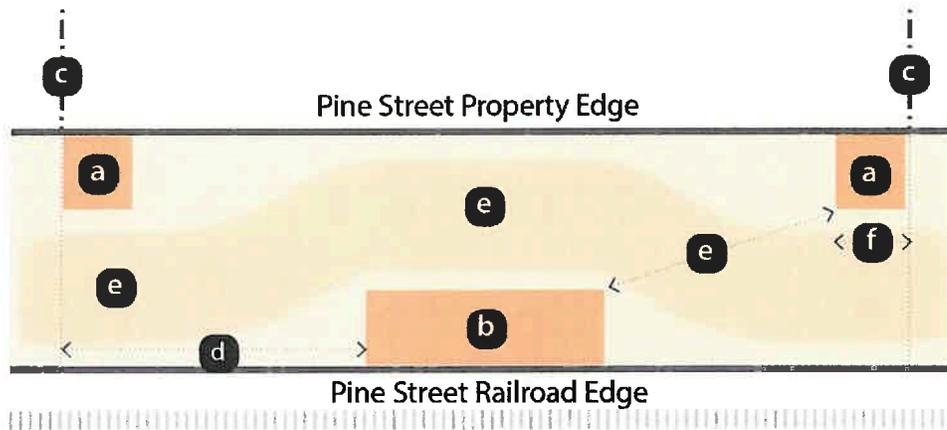
Table 2-17 – Pine Street Multi-Use Path Standards		
Requirement	Standard	Limitations & Qualifications
b) Access dedication width	Varies based on property distance from railroad edge	(2) Required for each Pine Street-facing property. (3) To provide the required width of 27 feet, a dedication shall be required from each property. (4) Exempt from this standard: a) The triangular lot located at the northern edge of the triangular easement, and b) Properties facing SE Douglas Avenue.
Through Zone <i>See Pages 20-23 of The Pattern Book</i>		
a) Width, minimum	20 feet	(1) 28-foot inside radius required, per Roseburg Fire Code.
b) Clear height, minimum	13 feet, 6 inches	(1) For overhead banners or lighting.
Flex Zone, Property-Adjacent Bulbout <i>See Pages 20-23 of The Pattern Book</i>		
a) Width	7 feet	
b) Length, minimum	5 feet	
c) Location	Required for each parcel, adjacent to each side lot line	(1) Flag lots are exempt. (2) Shall be located parallel to the Front Lot Line. (3) The side boundary of the Flex Zone shall be an extension of the side lot line, perpendicular to the front lot line (4) Property-adjacent flex zones are not permitted in front of buildings. (5) For properties facing the triangular easement area at the southern end of Pine Street, the Flex Zone shall be located adjacent to the existing face of lots.
d) Additional standards		(1) Per Table 2-18
Flex Zone, Railroad-Adjacent Bulbout <i>See Pages 20-23 of The Pattern Book</i>		
a) Width	7 feet	
b) Length, minimum	6 feet	
c) Length, maximum		(1) Maximum length is determined by the overall width of the property that is adjacent to the multi-use path. See Figure 2-21 Multi-Use Path Plan Diagram.
c) Location	37 feet from each side lot line	(1) Railroad-adjacent Flex Zones shall be located 37 feet from the edge of each side lot line, perpendicular to the front lot line. (2) Lots less than 80 feet wide are exempt from railroad-adjacent Flex Zone. Lots 80 feet or greater are required to have a railroad-adjacent Flex Zone.
d) Additional standards		(1) Per Table 2-18

Table 2-18 –Vertical Features and Landscaping Standards		
Requirement	Standard	Limitations & Qualifications
Universal standards		<i>See Pages 20-23 of The Pattern Book</i>
a) Applicability		(1) Applies to Front Yards and Flex Zone Bulbouts.
b) Required vertical features		(1) Shall include furnishings, vertical landscaping, or low free-standing wall or fence that provides visual and physical separation of the Flex Zone and Front Yard from the Through Zone.
c) Furnishings		(1) Furnishings include but are not limited to: ornamental bollards, bike racks (with required clear spaces), benches or other fixed seating, fixed tables, planters, ornamental boulders (e.g. basalt columns), sculptures, permanent signage, pergolas, banner poles, trellises, light poles, or overhead string lights. (2) Movable tables and chairs are permitted but do not fulfill the vertical feature requirement.
d) Vertical landscaping		(1) Vertical landscaping includes but is not limited to: trees, woody shrubs at least 24 inches tall, plants or trees in a pot or planter, or trellised vines.
e) Walls and fences		(1) Acceptable materials for free-standing walls and fences include, but are not limited to: wood, stone, brick, ornamental CMU masonry, or metal picket. (2) Chain link fences are not allowed.
f) Maximum height		(1) Vertical features (including trees and vegetation) must not encroach on the Through Zone below 13'-6" height.
f) Trees		(1) Trees are required in the Flex Zone Bulbouts or in the Front Yard within 10' of the Pine Street Edge. One tree is required for every 30 linear feet (or fraction thereof) of frontage on Pine Street. <i>Example: for 40 linear feet of frontage, two street trees would be required.</i> Existing trees within 10' of the Pine Street Edge may count toward this requirement. Flag lots are exempt from street tree requirement. (2) Trees shall comply with Section 12.06.020. (Public Improvement Requirements), subsection T.2 (Specifications for Trees and Plant Materials)
g) Construction and Maintenance		(1) Property owners are responsible for construction and on-going maintenance of Front Yards and Flex Zone Bulbouts associated with their property.
Additional Front Yard-specific standards		<i>See Pages 28-31 of The Pattern Book</i>
a) Furnishings		(1) Furnishings used to fulfill the requirement for vertical features must be at least 16 inches tall.

b) Vertical landscaping		<p>(1) If used to meet the requirement for vertical features:</p> <ul style="list-style-type: none"> a. Planted pots or planters must be at least 20 inches tall. b. Trellised vines must be on a trellis at least 3 feet tall. <p>(2) Trellises and pergolas must not exceed 8 feet in height.</p> <p>(3) Except where adjacent to the Flex Zone, the Pine Street Edge of the Front Yard must be defined by vertical features that are set back no more than 1 foot from the edge of the Through Zone.</p> <p>(4) Vertical features may include a continuous edge or a series of at least two individual elements. In either case, gaps between the Vertical Features must not exceed 20 linear feet. An attached porch can count as a vertical feature to fulfill this requirement, if it is within 5 feet of the Pine Street Edge.</p>
c) Walls and fences		(1) All free-standing walls or fences within the Front Yard must not exceed 4 feet in height.
d) Lighting		(2) Lighting: No light trespass is allowed across the Side Lot Lines or the Riparian Setback Line.
e) Activities permitted		(1) Activities permitted: Bicycle parking, driveway, landscaping, outdoor tables and seating, permanent and temporary signage, lighting, temporary/daytime only retail displays, permanent retail display of outdoor products.
Additional bulbout-specific standards		<i>See Pages 20-23 of The Pattern Book</i>
a) Furnishings		(1) Furnishings used to fulfill the requirement for vertical features must be at least 20 inches tall.
b) Vertical landscaping		<p>(1) If used to meet the requirement for vertical features:</p> <ul style="list-style-type: none"> a. Planted pots or planters must be at least 24 inches tall. b. Trellised vines must be on a trellis at least 4 feet tall. c. Trellises and pergolas must not exceed 8 feet in height.
c) Walls and fences		(1) All free-standing walls or fences within the Flex Zone must not exceed 4 feet in height.
d) Location		(1) A minimum of one vertical feature is required at each corner of the Flex Zone, set back no more than one foot from the edge of the flex zone.
e) Bicycle parking		<p>(2) The required clear space for any bike parking provided shall be protected on the sides facing parking stalls: by Vertical Features, minimum 4 feet width of landscaping, or concrete wheelstops.</p> <p>(3) Provide minimum 3 feet clearance between bike racks and vertical features or landscaping, or minimum 5 feet clearance to</p>

		wheelstops. Additional clearance and maneuvering space requirements per section 12.06.030(l)1 may apply.
f) Activities permitted		<p>(1) Parallel vehicle parking, bicycle parking, landscaping, outdoor seating, permanent and temporary signage, lighting, and temporary / daytime only retail displays.</p> <p>(2) No more than 2 adjoining parking spaces are permitted without being separated by a minimum 7' x 4' landscaped area, or, if abutting the side boundary, a 15-square-foot landscaped area.</p>

Figure 2-21: Multi-Use Path Plan Diagram



- a** Property-adjacent Bulbout
- b** Railroad-adjacent Bulbout
- c** Side lot line
- d** 37' Clear distance from edge of side lot to edge of railroad-adjacent Bulbout
- e** 20' Through Zone
- f** 5' minimum distance from edge of lot line to edge of property-adjacent Bulbout

This graphic is a color image. Some information may be lost when reproduced in black and white.

Table 2-19 – Private Property Standards		
Requirement	Standard	Limitations & Qualifications
Applicability		
a) Existing buildings		(1) Unless stated otherwise, existing buildings are exempt from these standards.
b) Alterations to existing buildings		(1) Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.
Setbacks <i>See Pages 24-31 of The Pattern Book</i>		
c) From Pine Street Edge, minimum	0 feet	(2) New buildings or additions may encroach into the Front Yard only when they are fronted by a porch.
d) From Pine Street Edge, maximum	15 feet	(1) New buildings or additions may not exceed maximum setback.
e) From Riparian Rear Lot Line	0 feet	
f) Side	5 feet	
g) Existing buildings		(1) Existing buildings are permitted to encroach into the Front Yard or exceed the maximum setback.
Buildable area <i>See Pages 24-26 of The Pattern Book</i>		
a) Maximum percentage	70%	(1) Maximum buildable area applies to the lot area after the area for the Front Yard, side yards, and the riparian setback are deducted, and if required, pedestrian paths connecting rear buildings to Pine Street.
b) Multiple buildings		(1) When multiple buildings occupy a lot, a pedestrian path is required to connect them to Pine Street. (2) The pedestrian path must meet standards for accessible route(s) with appropriate paving materials meeting current ADA standards.
c) Maximum building footprint	3,600 sq. feet	(1) Maximum footprint for a single building.
Building height		
a) Maximum number of stories	2	(1) Per 12.02.090 Definitions, a Story is defined as “That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the

		topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling above.”
b) Maximum height of a story	15 feet	
Front yard <i>See Pages 28-31 of The Pattern Book</i>		
a) Minimum depth	15 feet	
b) Required width	Width of lot	
c) Paved area, minimum	25%	
d) Landscaped area, minimum	25%	(1) Required landscaping shall comply with standards in Table 2-18, Vertical Features and Landscaping Standards.
e) Paving materials		(1) Pavers, brick, flagstone, scored concrete, compacted crushed rock, wood deck, wood boardwalk. (2) A porch may count toward the minimum paved area. The porch may be incorporated into a building or treated as an attachment to a building. (3) Paving within the Front Yard must provide a significant visual contrast between adjacent paving in the Flex Zone or the Through Zone. (4) Accessible route(s) with appropriate paving materials meeting current ADA standards must be provided. Some approved paving materials may not meet ADA requirements.
f) Vertical features	Required for each Front Yard	(1) Required vertical features shall comply with standards in Table 2-18, Vertical Features and Landscaping Standards, and additional standards below. (2) Furnishings used to fulfill the requirement for vertical features must be at least 16 inches tall. (3) Planted pots or planters used to fulfill the requirement for vertical features must be at least 20 inches tall. (4) Trellised vines used to fulfill the requirement for vertical features must be on a trellis at least 3 feet tall. (5) Trellises and pergolas must not exceed 8 feet in height. (6) All free-standing walls or fences within the Front Yard must not exceed 4 feet in height.

		(7) Except where adjacent to the Flex Zone, the Pine Street Edge of the Front Yard must be defined by vertical features that are set back no more than 1 foot from the edge of the Through Zone. The vertical features may include a continuous edge or a series of at least two individual elements. In either case, gaps between the vertical features must not exceed 20 linear feet. The building or an attached porch can count as a vertical feature to fulfill this requirement, if it is within 5 feet of the Pine Street Edge.
Ground floor standards		
a) Height of floor level, minimum	1 foot above BFE	(1) Base Flood Elevation (BFE), see Figure 2-20.
b) Height of floor level, maximum	5 feet	(1) Maximum number of feet above Base Flood Elevation (BFE)
c) Height of interior space, minimum	12 feet	
Parking Required		
a) Required vehicular parking, minimum	none	–
b) Residential vehicular parking, maximum	2 per lot	(1) Variances shall be approved through process set out in section 12.06.030 (V).
c) Commercial vehicular parking, maximum	3 per lot	(1) Variances shall be approved through process set out in section 12.06.030 (V).
d) Required bicycle parking	Residential	(1) 2 per unit
	Bed and Breakfast	(2) 2 plus 1 space per guest room
	Retail	(3) 1 per 300 sq. ft.
Bicycle Parking Standards <i>See also page 23 of The Pattern Book</i>		
a) Facility Design		(1) Refer to section 12.06.030(I)1.
b) Locational Standards		(1) Refer to section 12.06.030(I)2.
Vehicular parking location		
a) Setback from Pine Street Edge	25 feet	(1) Refer to section 12.06.030(J) for accessible parking standards.
b) Setback from Rear Lot Line	25 feet	(1) Per definitions, the Rear Lot Line shall be defined by the riparian setback.
c) Setback from side lot line	10 feet	
Landscaping and Buffering		
a) Tees and plant materials		(1) Subject to standards in 12.06.030(F) 12.06.030(T)
b) Parking area buffering		
c) Buffer area landscape standards		

d) Interior parking area landscaping		
Lighting		
a) Exterior on-site lighting		(1) Subject to standards in 12.06.030.(E)

2. Architectural Standards. The purpose of this section is to ensure that alterations to historic structures and new development are consistent with the vision for Pine Street. New buildings and historic building alterations should retain the character of the Pine Street Waterfront Overlay and promote small-scale, pedestrian-oriented development. The overlay, combined with the Pattern Book, addresses detailed building design standards for new construction and design guidelines for historic structures.

Table 2-20 – Architectural Standards, New Buildings and Alterations			
Requirement	Standard		Limitations & Qualifications
	Pine Street Edge or Douglas Avenue	Required pedestrian path and Riparian Edge	
Applicability			
a) Existing buildings	Unless stated otherwise, existing buildings are exempt from these standards.		
b) Alterations to existing buildings	Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.		
Front Porch <i>See pages 36-39 of The Pattern Book</i>			
a) Minimum width	15 feet	–	(1) An attached porch may count toward the minimum paved area. See Table 2-18. (2) The porch may be incorporated into a building or treated as an attachment to a building.
b) Minimum depth	10 feet	–	
Ground floor <i>See pages 36-39 of The Pattern Book</i>			
b) Ground floor windows	75%	50%	(1) Applies to linear feet of façade
c) Primary building entrance	Required	Required	(3) Required for each building façade facing Pine Street. (4) Shall be located on the Pine Street façade, or facing a required pedestrian path. (5) Shall be directly connected to Pine Street and shall include weather protection.

Commentary

Historic Structures. There are seven historic structures in the PSWO. Almost all of them are in the flood plain. As stated above, any structure that is constructed, located, extended, converted, or altered must comply with the Flood Plain requirements of 12.04.090 Flood Plain Overlay. Therefore, in order to comply with floodplain regulations, almost all of the historic structures in PSWO will need to be altered in some way. Alterations that

would bring a historic structure into compliance include floodproofing, relocation to higher ground, or elevation on a new sub-structure.

Construction dates range from 1855 to 1906. The architectural styles include Queen Anne Style, Greek Revival, and Italianate.

Architectural details collectively on display include gable-end roofs with frieze boards; brackets; hipped roofs; hipped dormers; double hung windows; and columned porches, including the distinctive two-level porch of the Lane House.

Table 2-21 – Historic Building Options		
Action	Requirement	Limitations and qualifications
Rehabilitate, remodel or adapt a historic building <i>See pages 32-39 of The Pattern Book</i>		
<ul style="list-style-type: none"> Adapt or restore a historic structure that complies with Chapter 12-040.090 Flood Plain Overlay. Move a historic structure to another location on the same site so that it complies with Chapter 12-040.090. Move a historic structure to another site within the PSWO so that it complies with Chapter 12-040.090. Add a substructure to lift the historic building out of the flood plain. 	<p>Alterations and new construction shall comply with architectural design guidelines of the Pattern Book, which address:</p> <ul style="list-style-type: none"> Building shape and projections (massing and composition) Roof shape Details, including eaves, windows and doors, and porches Materials 	<p>(1) Permitted without Historic Resource Review Commission (HRRC) approval as long as alterations or new construction meet standards set out in Pattern Book.</p> <p>(2) Minor projects, as defined in the HRRC Minor Project Review Standards, shall be reviewed by staff.</p>
<ul style="list-style-type: none"> Relocate a historic structure to a site not within the PSWO. 	–	Requires Historic Resource Review Commission (HRRC) approval.
<ul style="list-style-type: none"> Demolish a historic structure 	–	
New Construction		
<ul style="list-style-type: none"> Build a new structure on a vacant site. Add a new structure to a site occupied by a historic structure. Attach a new structure to a historic building. 	New construction shall comply with Table 2-21 from Design Standards of this Chapter.	Permitted without HRRC approval.

Consideration

A majority of historic structures in the PSWO are within the flood plain. Consider adding a provision for the six locally designated properties (Roseburg Cultural and Historical Resources Inventory) within the PSWO so that a historic building within the Pine District that is re-purposed into a non-residential use could be minimally improved but not floodproofed.

There is precedent for such a variance: In 12.04.090, Flood Plan Overlay subsection S., Conditions for variances, there are several provisions allowing for the Planning Commission to hear and decide on variances, as follows:

S. 1. – Variances may be issued for the reconstruction, rehabilitation, or restoration of structures listed on the National Register of Historic Places or the State Inventory of Historic Places, without regard to the procedures set forth in the remainder of this Section.

S. 6. – Variances may be issued for nonresidential buildings and structures in very limited circumstances to allow a lesser degree of flood-proofing than watertight or dry-flood-proofing, where it can be determined that such action will have low damage potential, complies with all other variance criteria except Paragraph 12.04.090(R)(5) and otherwise complies with Subparagraphs 12.04.090(U)(1) and 12.04.090(U)(2) (a-b) of this Code.

F. Signage. The following language addresses signage within the PSWO.

1. **Pine Street Edge signage.** While SE Douglas Avenue is the front door of the district, the Pine Street Edge is intended to have a uniquely different character, and signage is a big part of that. It will have the most activity, with pedestrians, bicycles and light automobile traffic. They shall be scaled primarily for bike and pedestrian traffic and shall be visible from a distance of 100 feet.
2. **Riparian Setback signage.** No signage shall be permitted to face the river edge.
3. **Deep lot pedestrian path signage.** Signage along pedestrian paths serving multiple buildings on deep lots should be scaled for pedestrians, with a focus on double-sided signs that can be seen from a distance. Large projecting and freestanding signs are prohibited along this edge.
4. **Standards and Criteria.**
 - a. The standards of Section 12.08.020 Signs apply, except as modified below.
 - b. **Encroachment.** The minimum height for all signs encroaching in the Pine Street Area shall be nine feet above grade. The maximum encroachment into the public right-of-way shall be three feet, provided that no sign shall encroach within two feet of any curb or driveway line.
 - c. **Logos.** Logos are allowed in addition to the permitted wall signs listed above provided that the logo is the logo of the business residing on the premises and provided that the total square footage of the permitted wall signs and the logos do not exceed a combined area of three square feet per lineal foot of building wall for first story businesses and one and one-half square feet per lineal foot of building wall for second story businesses. A permit is required for each logo that is being installed based on the square footage of the proposed logo.
 - d. **Illumination from Signs on Non-Residential Property.** External illumination shall be shielded so that the light source elements are not directly visible from the property in a residential zone which is adjacent to or across a street from the property in the non-residential zone.

Consideration: Maintain standards for the design, size, material, placement, and content of historic house plaques. Consistent with other section of the LUDR, historic plaques would “be approved by the staff and kept on file with the director.” Alternatively, consider, through the PSWO, pre-establishing standards that achieve an

acceptable result for the historic house plaques whereby they could be approved by City staff rather than the HRRC.

- 5. **Exempt signs.** Refer to section 12.08.020(C).
- 6. **Prohibited signs.** Refer to section 12.08.020(D).
- 7. **Permit procedures.** Refer to section 12.08.020(E).

Sign Type	Freestanding or Projecting Signs	Double faced	Wall (including awning and window)
Where Permitted	Pine Street Edge	Pine Street Edge (1)	Pine Street Edge
Maximum Width	3 feet	2 feet	-
Maximum Height	12 feet	2 feet	-
Maximum Sign Area per Face	15 square feet	2 square feet	-
Maximum Total Sign Area	30 square feet (2)	6 square feet	First story businesses (3) Second Story businesses (4)
Maximum Projection	NA	4 feet	12 inches
Number	1 per building	1 per business per frontage edge	1 for each building which faces Pine Street Edge, the river, or a Through Connection.

- (1) Hanging double-faced signs are permitted in yards facing the Pine Street Edge and Through Connections. Sign structure must be metal or wood and shall not exceed 5 feet in height. When a double-faced sign is attached to an awning or storefront, the minimum clearance shall be nine feet.
- (2) Each building shall be permitted one freestanding sign or projecting sign, which shall be limited to a maximum area of 15 square feet for one face and 30 square feet for two or more faces. Roof signs are conditionally permitted.
- (3) First Story Businesses facing Pine Edge, River Edge or a Through Connection shall be permitted signage of three square feet per lineal foot of building wall.

- (4) Second Story Businesses facing Pine Edge, River Edge or a Through Connection shall be permitted signage of one and one-half square feet per lineal foot of building wall.

Consideration: Large signs or gateway signs are listed as conditionally permitted as part of the projecting and freestanding sign standards. There has been some interest in permitting large scale signs for the district. Discuss whether a conditional review would be the right approach.

PINE STREET PATTERN BOOK

Roseburg Pine Street Waterfront Overlay

DRAFT October 2018

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The contents of this document do not necessarily reflect views or policies of the State of Oregon.

Introduction

Purpose of the Pattern Book

The Pattern Book accompanies the Pine Street Waterfront Overlay (PSWO), Section 12.04.140 of the Roseburg Municipal Code. This pattern book illustrates — through figures, text, and tables — physical designs that comply with the Overlay standards. It follows the same order and structure of the Overlay and should be used as a supplement to the numerical standards found in the zoning code. The table on page 3 shows how each section of the Pattern Book correlates to the sections of the Overlay.

Pine Street Waterfront Overlay Purpose

The Pine Street Waterfront Overlay (PSWO) promotes a unique riverfront commercial district along a shared multi-use path. The Overlay is intended to strengthen and intensify the existing character of the district by prioritizing pedestrians and encouraging small- and medium-scale development, and historically compatible architecture. The Overlay specifies pedestrian-friendly and traffic-calming design standards, along with standards for new buildings, and building additions.

The PSWO, or Overlay, will promote a mix of uses to encourage a wider range of uses than currently exists. New permitted uses promote the pedestrian character of the area and include residential dwellings above commercial uses, restaurants, sidewalk cafes, retail sales and professional offices, bed and breakfast facilities, and parks and playgrounds.

The Overlay implements longstanding policy direction for the area: The segment of Pine Street located within the Overlay connects to bike and walking trails around the city, and the Transportation System Plan (TSP) identifies the area as a multi-use path, rather than a street. This means that pedestrians and cyclists take priority.



INTRODUCTION



Applicability. As illustrated in Figure 2-17 in Section 12.04.140 of the Roseburg Municipal Code, the regulations of the Pine Street Waterfront Overlay apply to the area bounded by

- » On the north, the edge of Deer Creek;
- » On the east, the edge of the railroad right of way;
- » On the south, the edge of Douglas Avenue, and;
- » On the east, the edge of the S. Umpqua River.

Organization of the Pattern Book

The Pattern Book follows the organization of the Pine Street Waterfront Overlay (PSWO). Some sections of the Overlay are not represented in the pattern book. For example, the definitions and uses sections are not discussed in this document.

Similarly, some sections of the Pattern Book are not represented in the Overlay chapter because they do not have accompanying numerical standards. Background section is an example of this. The background section describes overall character, historical context, and potential implementation strategies.

PATTERN BOOK	12.04.140 PINE STREET WATERFRONT OVERLAY
<p>Introduction</p> <ul style="list-style-type: none"> » Purpose » Organization of the Pattern Book <p>Not included</p>	<ul style="list-style-type: none"> A. Purpose B. Applicability C. Definitions D. Uses
<p>Background</p> <ul style="list-style-type: none"> » Overall District Character » District Connectivity » All Modes Accommodated » Emergency Access » Implementation » Flood Plain Requirements » Pine Street Victorians 	
<p>Patterns</p> <ul style="list-style-type: none"> » Flex Zone Bulbouts » Site Design » Front Yard » Building Shape » Porches 	<ul style="list-style-type: none"> E. Development Zone Figure 2–20: Pine Street Plan Table 2–17: Pine Street Multi-Use Path Standards Table 2–18: Vertical Features and Landscaping Standards Figure 2–21: Multi-Use Path Plan Diagram Table 2–19 – Private Property Standards Table 2–20 – Architectural Standards, New Construction Table 2–21 – Historic Building Options
<p>Considerations</p> <ul style="list-style-type: none"> » Signs » Art » Parking Management » District Marker 	<ul style="list-style-type: none"> F. Signage Table 2–22 Sign Standards by Type

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Background

- IN THIS SECTION**
- » Overall District Character
 - » District Connectivity
 - » All Modes Accommodated
 - » Emergency Access
 - » Implementation



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Overall District Character

The Pine Street area has a distinctive character and sense of boundaries. It is bordered by the railroad to the east, the South Umpqua River to the west, the couplet district to the south, and Deer Creek Park to the north. As expressed in the Purpose Statement, the Overlay is intended to “promote a unique riverfront commercial district along a shared multi-use path.” Because it is situated along a multi-use path and the river, there are many opportunities to preserve its current eclectic character, while enhancing the facilities and promoting more commercial activity in the historically all-residential area. Small scale commercial shops and overnight accommodations will be reinforced by the proximity of the river and multi-use path.

District Connectivity

Surrounding Pine Street are two areas with distinctive characters of their own. The area between the waterfront and the heart of downtown is characterized by wide streets with heavier through-traffic on Washington and Oak Avenues (shown as area B on the aerial photograph). This area serves as a crossroads for long distance drivers, (tourists), and truck and freight. ODOT-funded improvements have made it safer for pedestrians through protected pedestrian crossings and improved intersections. Improvements to the Oak Avenue bridge create space



Pine District (A), couplet and railroad district (B), and the historic downtown (C).

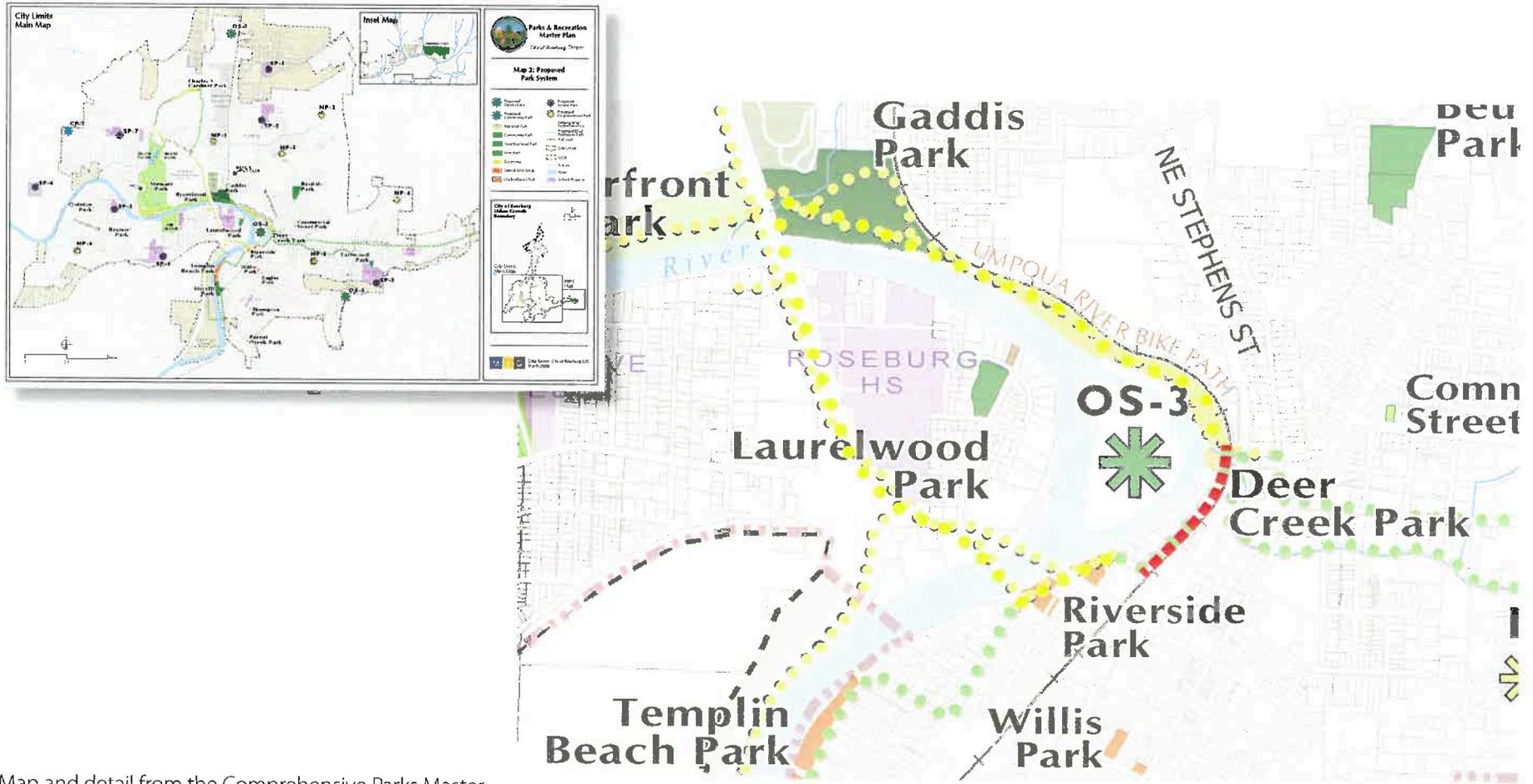
for the multi-use path that connects to the waterfront path and to Pine Street.

The Downtown district (area C) is clearly marked with archways and a distinctive character. The historic downtown has a high concentration of retail and businesses. Intersection treatments incorporate art, colored paving, and a curbless design with bollards,

further enhancing the character of the district. Pine Street is short walking distance to both of these areas.

In addition to its proximity to neighboring areas, perhaps its strongest connection is as a link in the larger trail system. The map on the opposite page shows this connection.

DISTRICT CHARACTER



Map and detail from the Comprehensive Parks Master Plan, adopted in 2008. Map shows proposed park system. Yellow dotted line shows existing bike and pedestrian paths, while green dotted line shows proposed paths. The segment of Pine Street has been highlighted in red. It is an important link in the overall system.

All Modes Accommodated

Pine Street is classified as a multi-use path, not as a street, according to the 2006 Transportation System Plan (TSP). This means its primary role is to function as part of the larger bicycle and pedestrian network in Roseburg. Though cars are permitted on this segment of the path, cyclists and pedestrians should be given priority. The Pine Street multi-use path should be designed for very low speeds, so bikes and pedestrians will feel comfortable.

Because the path is a dead-end for cars, there are no opportunities for cut-through traffic and automobile traffic will be limited to property owners and visitors to the area. Bikes and pedestrians, however, can continue riding on the path to parks and other destinations in the City.



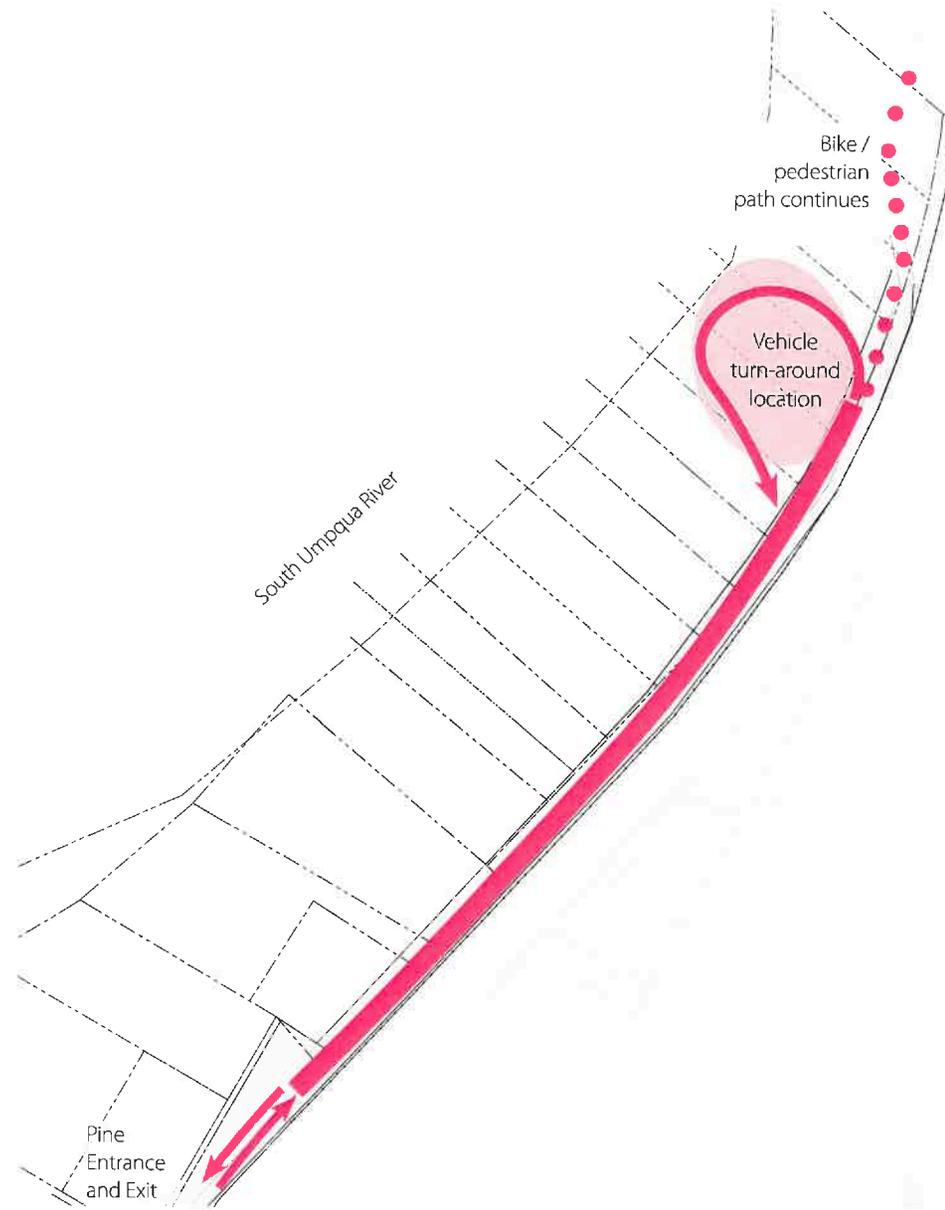
“Well-planned and well-designed multi-use paths can provide good pedestrian and bicycle mobility. Paths can serve both commuter and recreational cyclists and pedestrians. The key components to successful paths include: continuous separation from traffic, scenic qualities, connection to land uses, well-designed street crossings, visibility, good design, and proper maintenance.”

Roseburg Bike and Pedestrian Plan, 2009

Emergency Access

While bikes and pedestrians are generally given priority, it is important that the area be served by emergency response vehicles such as fire, ambulance and police. The width of the path will be able to accommodate emergency response vehicles and an ample turn-around is planned as part of a district-wide parking area south of Deer Creek Park. This is where the vehicular access ends, while the bike and pedestrian path continues on.

The graphic to the right shows the emergency access path and proposed turn-around location.

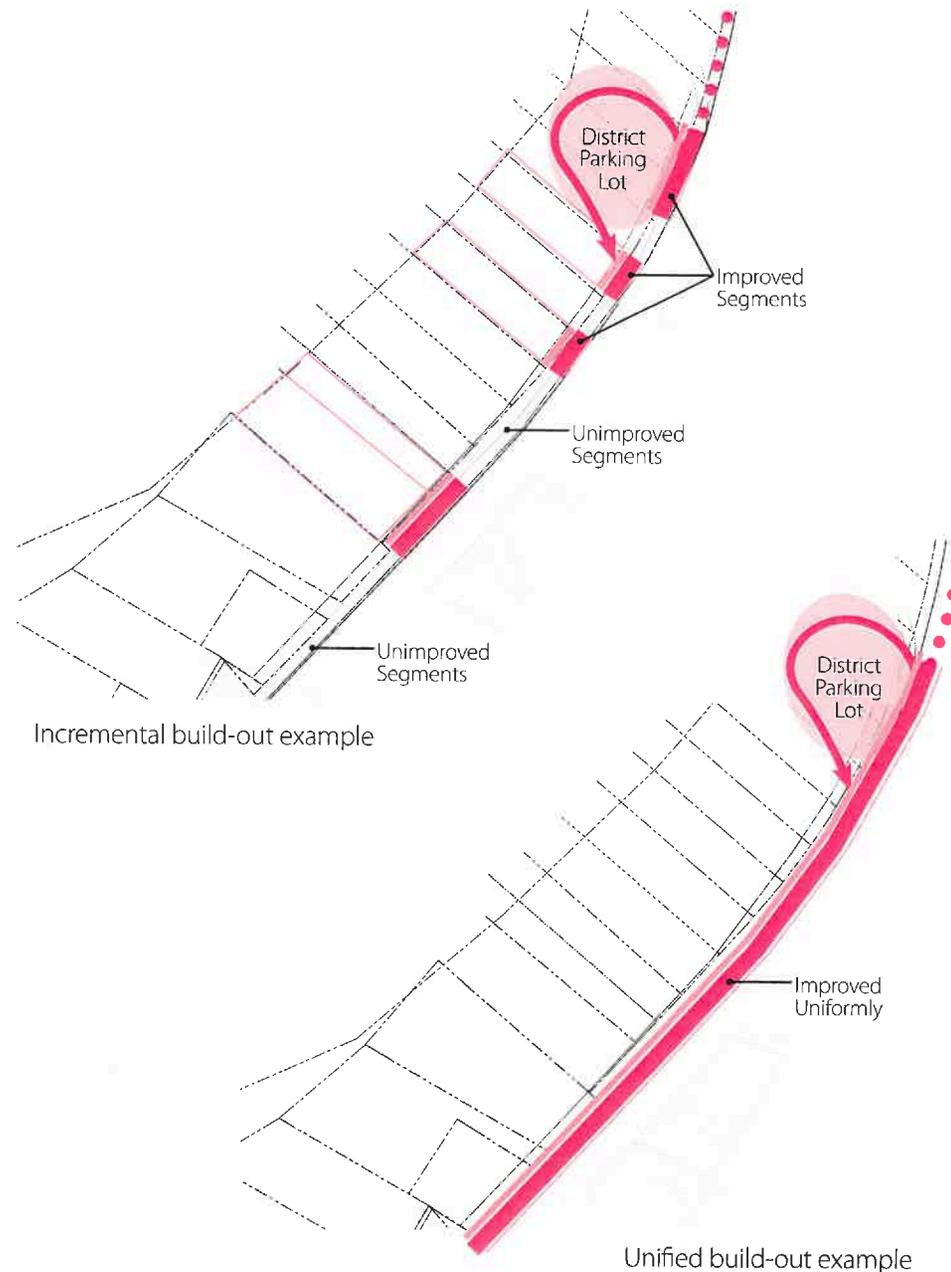


Implementation

There are two different approaches to how the Pine Street path improvements can be implemented.

Incremental build-out: An incremental build-out of the Pine district means improvements would be made at the time individual properties redevelop. The benefit of this is that the eclectic character of the area will likely be preserved. However, a lack of consistency in dedication is problematic. Each property is required to dedicate land for the multi-use path improvements at the time of redevelopment, creating inconsistent path improvements. There are also complications with creating a consistent ADA accessible pathway if intermittent properties develop, leaving segments of the path unimproved.

Unified build-out: A unified build-out of the Pine district would mean the creation of a streetscape plan and a commitment by the City to provide up-front funding for the project. The benefit of this approach is that there is consistency in the design and bigger overall district concerns, such as parking, can be addressed all at once. One potential drawback would be the need for upfront funds.



Flood Plain Requirements

The entire Pine Street Waterfront Overlay area is in the designated flood hazard area and all properties within are subject to the provisions of 12.04.090, Flood Plain Overlay. Areas subject to flooding must be able to withstand flooding, and the uses that may occupy areas subject to flooding are limited.

The section diagram illustrates, in a cross-section, the areas above and below the BFE (Base Flood Elevation) that are subject to limitations on development. There are two areas, and they are subject to different limitations:

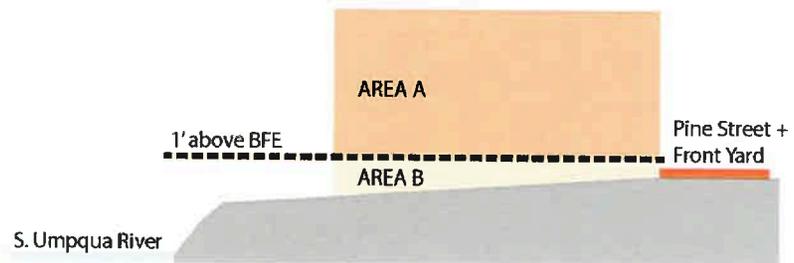
Area A – The developable area, located at least one foot above the BFE, but below the maximum height for buildings. The maximum height for buildings is 2 stories.

Area B – The developable area located below one foot above the BFE.

Any structure that is constructed, located, extended, converted, or altered in the PSWO must comply with the Flood Plain requirements. Flood plain requirements that apply to the PSWO are summarized below. The summary is not intended to replace 12.04.090; only to provide relevant information to guide development and redevelopment in the PSWO. Proposed development shall comply with all requirements of 12.04.090.

Site Plan Review Requirements. All PSWO development, whether it is located in either Area A or Area B, must comply with Site Plan Review requirements as summarized in the table below.

Site Plan Review Requirements for PSWO Flood Plain	
Area	Site Plan Review
For either Area A –1 foot or more above BFE or Area B –Below BFE	Required before construction begins. Reviewed by Community Development Director. The following information is required: <ul style="list-style-type: none"> » Elevation in relation to mean sea level NAVD 88, of the bottom of the lowest floor (including basement) of all structures; » Elevation in relation to mean sea level NAVD 88 to which any structure has been flood-proofed; » Certification by a registered professional engineer or architect that the flood-proofing methods for any nonresidential structure meet the flood-proofing criteria specified in Subsection 12.04.090(BB) of this Code; and » Description of the extent to which any watercourse will be altered or relocated as a result of proposed development.



Section Diagram

Construction in the Flood Plain

Any structure that is constructed, located, extended, converted or altered in the PSWO must comply with one of two construction options, as summarized in the table below. Area B, which is the developable area located below one foot above the BFE, is subject to flooding and must be either open to allow for floodwaters to escape (Option 1), or flood proofed (Option 2). Option 2 requires engineer or architect certification; Option 1 does not.

Both options apply to non-residential uses on the ground floor of buildings, which are below the BFE and subject to flooding. Option 1 is appropriate for uses such as parking, or other semi-outdoor non-residential uses. Option 2 is appropriate for non-residential, at-grade uses that require structural enclosure, such as retail or office. Residential uses are prohibited in Area B.

Construction in the Flood Plain	
Area A (1 foot or more above BFE)	
Residential uses permitted	
Non Residential uses permitted	
Area B (Below 1 foot above BFE)	
Non Residential uses permitted	
Residential uses not permitted	
<p>Option 1: Meet or exceed the following minimum criteria:</p> <ul style="list-style-type: none"> » A minimum of two (2) openings having a total net area of not less than one (1) square inch for every square foot of enclosed area subject to flooding shall be provided. » The bottom of all openings shall be no higher than one (1) foot above grade. » Openings may be equipped with screens, louvers, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters. <p><i>Note: This option does not require engineer/architect certification.</i></p>	<p>Option 2:</p> <ul style="list-style-type: none"> » Flood-proof structure so that, below one foot above BFE, it is watertight with walls substantially impermeable to the passage of water; and provide » Structural components that are capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy; <p><i>Note: This option requires certification by engineer/architect.</i></p>

Challenges for Historic Structures

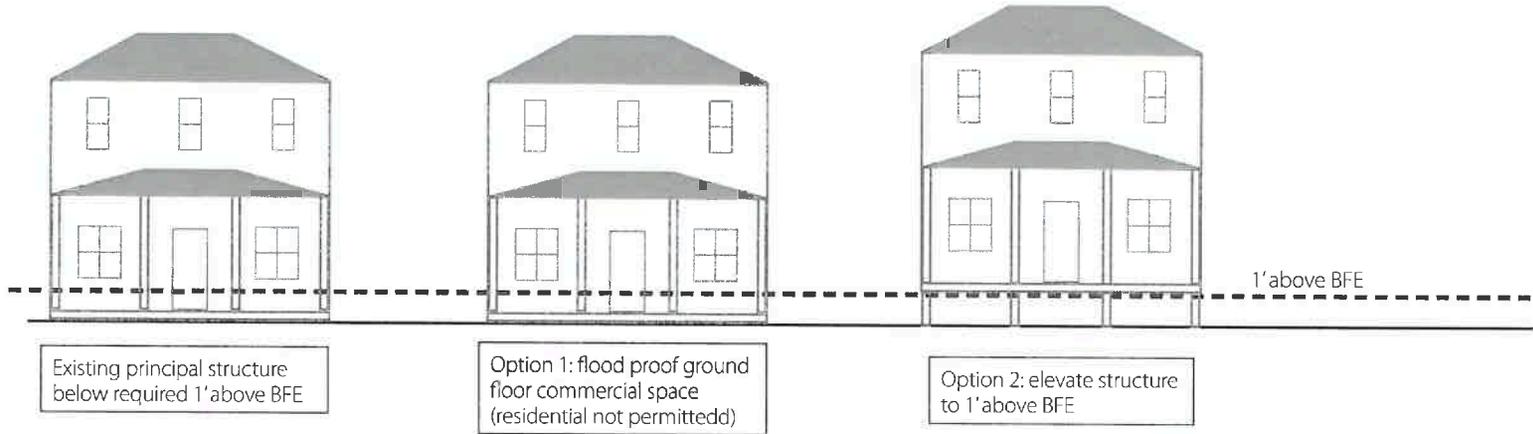
There are seven historic structures in the PSWO. Almost all of them are in the flood plain. As stated on the previous page, "When a structure in the Flood Plain is relocated, extended, converted, or altered, it must comply with the Flood Plain requirements." These requirements provides special challenges for historic structures.

When a historic building is remodeled to accommodate mixed uses or is otherwise converted from a purely residential use, it will need to comply with floodplain regulations. It is possible that all of the historic structures in PSWO will need to be altered in some way.

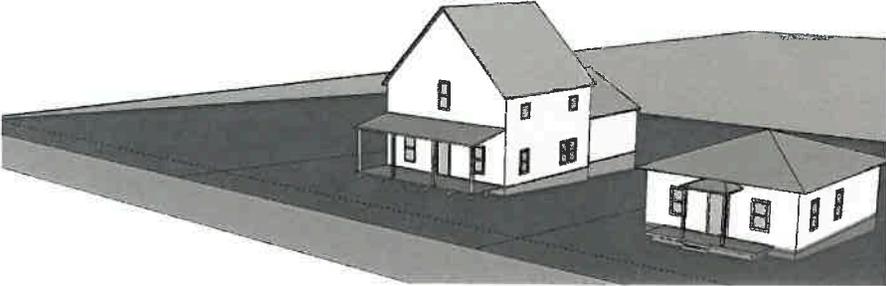
Alterations that would bring a historic structure into compliance include flood proofing, relocation to higher ground, or elevation on a new sub-structure.

Table 2-21

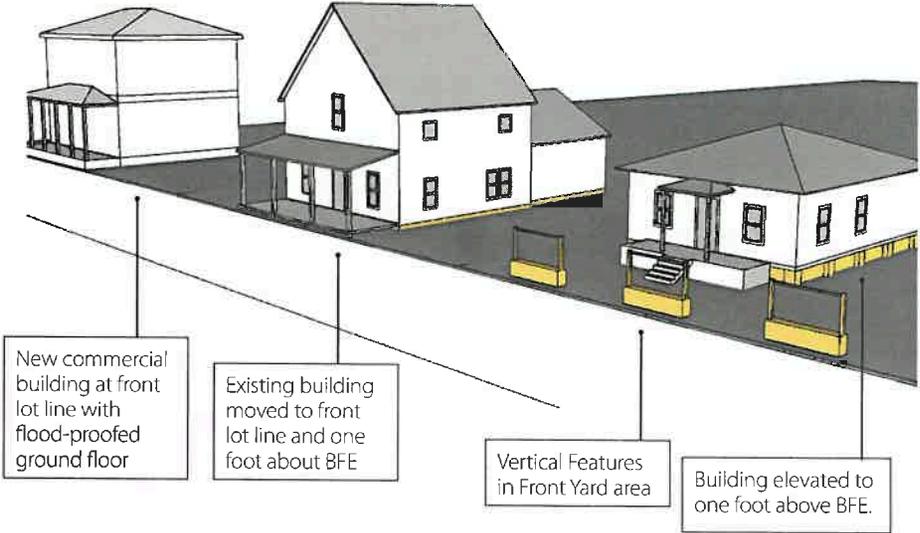
Table 2-21 – Historic Building Options		
Action	Requirement	Limitations and qualifications
Rehabilitate, remodel or adapt a historic building <i>See pages 32-39 of The Pattern Book</i>		
<ul style="list-style-type: none"> Adapt or restore a historic structure that complies with Chapter 12-040.090 Flood Plain Overlay. Move a historic structure to another location on the same site so that it complies with Chapter 12-040.090. Move a historic structure to another site within the PSWO so that it complies with Chapter 12-040.090. Add a substructure to lift the historic building out of the flood plain. 	Alterations and new construction shall comply with architectural design guidelines of the Pattern Book, which address: <ul style="list-style-type: none"> Building shape and projections (massing and composition) Roof shape Details, including eaves, windows and doors, and porches Materials 	(1) Permitted without Historic Resource Review Commission (HRRC) approval as long as alterations or new construction meet standards set out in Pattern Book. (2) Minor projects, as defined in the HRRC Minor Project Review Standards, shall be reviewed by staff.
<ul style="list-style-type: none"> Relocate a historic structure to a site not within the PSWO. 	-	Requires Historic Resource Review Commission (HRRC) approval.
<ul style="list-style-type: none"> Demolish a historic structure 	-	
New Construction		
<ul style="list-style-type: none"> Build a new structure on a vacant site. Add a new structure to a site occupied by a historic structure. Attach a new structure to a historic building. 	New construction shall comply with Table 2-21 from Design Standards of this Chapter.	Permitted without HRRC approval.



EXAMPLE 1: Existing structures not in compliance with flood plain requirements



EXAMPLE 2: Existing and new structures in compliance with flood plain requirements



Pine Street Victorians

Of the seven historic homes within the Pine Street Waterfront Overlay, five of them face the Pine path and two front Douglas Avenue. All of these are Victorian style, with the exception of the Lane House, which was built decades earlier and is Greek Revival.

Pine Street has a mix of Queen Anne, Italianate, and Vernacular styles, which are all part of the larger umbrella of Victorian Style, a period of architecture in the latter half of the 19th century. The country as a whole, and cities in particular, experienced a period of intense growth in industrial development. This meant that building materials were beginning to be mass-produced and, as a result, lighter wood was employed rather than heavy timber framing. This allowed builders more freedom in the form of the house, creating more organic shapes, overhangs, and curved forms. In addition to more complex building forms, the style could also be affordably applied to simple rectangular cottages, through the use of ornamental wood elements. In its boldest expression, Victorian-style buildings are eclectic, with different patterning and asymmetrical shapes such as towers and other embellishments. The existing historic homes on Pine Street are of a more modest interpretation of the style and share steeply pitched gable roofs or lower-profile hipped roofs and ornamental wood work.



534 W Douglas
1895. Style: Queen Anne.

ESSENTIAL ELEMENTS OF HISTORIC HOMES

- Steeply pitched gable roofs or lower profile hipped roofs
- Boxed eaves and frieze boards
- Cut wood ornament, including brackets and spindle work, patterned shingles and dentils
- Wood clapboard siding
- Vertical proportions for windows
- Double hung windows
- Doors with sidelights and transoms
- Bay windows
- Porches with hipped roofs



280 SE Pine
1900. Style: Not listed.



292 SE Pine (Farquar House)
1875. Style: Vernacular



320 SE Pine
1890. Style: Italianate.



544 W Douglas (Lane House)
1853-54 (1866). Style: Greek Revival.



270 SE Pine
1906. Style: Queen Anne, Vernacular.



340 SE Pine
1895. Style: Not listed.

The images above and on previous page represent the seven historic homes in the Overlay. With the exception of the Lane House—which is on the National Historic Registry—the six other properties are part of the Roseburg Cultural and Historical Resources Inventory. Information about building style and year of construction was gathered from this inventory.

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Patterns

IN THIS SECTION

- » Flex Zone Bulbouts
- » Site Design
- » Front Yard
- » Building Shape
- » Porches



Flex Zone Bulbouts

Bulbouts are marked areas on the Pine Street Multi-Use Path that are dedicated for use by parked cars, cafe seating, landscaping and other permitted uses. Bulbouts provide traffic calming through an alternating pattern and are located between the Pine Street Edge and the Railroad Edge. Property owners have the flexibility to determine what their Bulbouts will be used for within the list of permitted activities.

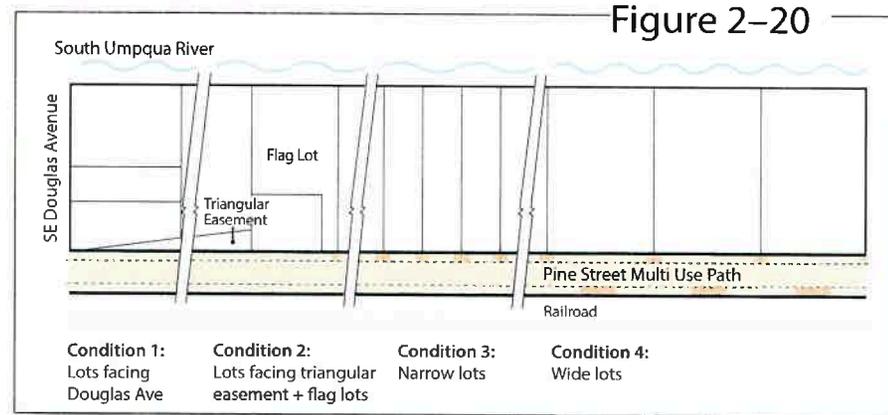
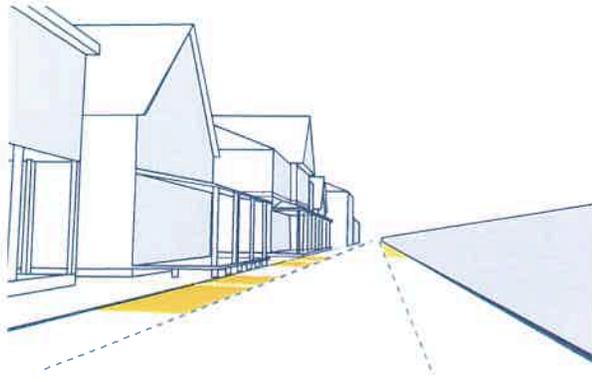


Table 2-17

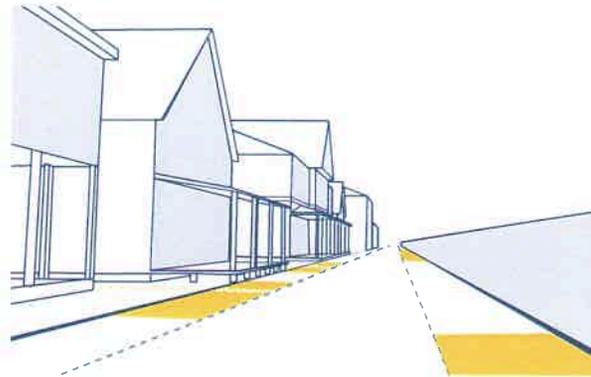
Table 2-17 – Pine Street Multi-Use Path Standards		
Requirement	Standard	Limitations & Qualifications
b) Access dedication width	Varies based on property distance from railroad edge	(2) Required for each Pine Street-facing property. (3) To provide the required width of 27 feet, a dedication shall be required from each property. (4) Exempt from this standard: a) The triangular lot located at the northern edge of the triangular easement, and b) Properties facing SE Douglas Avenue.
Through Zone See Pages 20-23 of The Pattern Book		
a) Width, minimum	20 feet	(1) 28-foot inside radius required, per Roseburg Fire Code.
b) Clear height, minimum	13 feet, 6 inches	(1) For overhead banners or lighting.
Flex Zone, Property-Adjacent Bulbout See Pages 20-23 of The Pattern Book		
a) Width	7 feet	
b) Length, minimum	5 feet	
c) Location	Required for each parcel, adjacent to each side lot line	(1) Flag lots are exempt. (2) Shall be located parallel to the Front Lot Line. (3) The side boundary of the Flex Zone shall be an extension of the side lot line, perpendicular to the front lot line (4) Property-adjacent flex zones are not permitted in front of buildings. (5) For properties facing the triangular easement area at the southern end of Pine Street, the Flex Zone shall be located adjacent to the existing face of lots.
d) Additional standards		(1) Per Table 2-18
Flex Zone, Railroad-Adjacent Bulbout See Pages 20-23 of The Pattern Book		
a) Width	7 feet	
b) Length, minimum	6 feet	
c) Length, maximum		(1) Maximum length is determined by the overall width of the property that is adjacent to the multi-use path. See Figure 2-21 Multi-Use Path Plan Diagram.
c) Location	37 feet from each side lot line	(1) Railroad-adjacent Flex Zones shall be located 37 feet from the edge of each side lot line, perpendicular to the front lot line. (2) Lots less than 80 feet wide are exempt from railroad-adjacent Flex Zone. Lots 80 feet or greater are required to have a railroad-adjacent Flex Zone.
d) Additional standards		(1) Per Table 2-18

Table 2-18

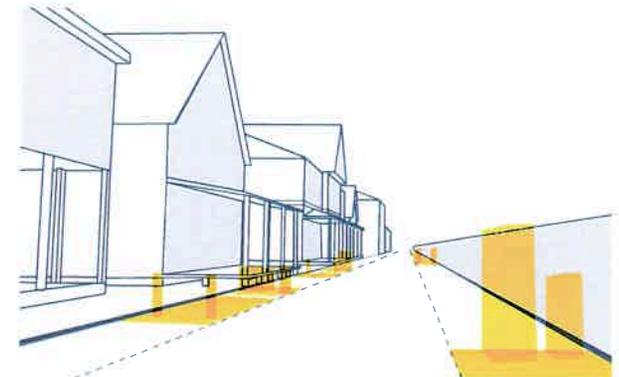
Table 2-18 – Vertical Features and Landscaping Standards		
Requirement	Standard	Limitations & Qualifications
Universal standards See Pages 20-23 of The Pattern Book		
a) Applicability		(1) Applies to Front Yards and Flex Zone Bulbouts.
b) Required vertical features		(1) Shall include furnishings, vertical landscaping, or low free-standing wall or fence that provides visual and physical separation of the Flex Zone and Front Yard from the Through Zone.
c) Furnishings		(1) Furnishings include but are not limited to: ornamental bollards, bike racks (with required clear spaces), benches or other fixed seating, fixed tables, planters, ornamental boulders (e.g. basalt columns), sculptures, permanent signage, pergolas, banner poles, trellises, light poles, or overhead string lights. (2) Movable tables and chairs are permitted but do not fulfill the vertical feature requirement.
d) Vertical landscaping		(1) Vertical landscaping includes but is not limited to: trees, woody shrubs at least 24 inches tall, plants or trees in a pot or planter, or trellised vines.
e) Walls and fences		(1) Acceptable materials for free-standing walls and fences include, but are not limited to: wood, stone, brick, ornamental CMU masonry, or metal picket. (2) Chain link fences are not allowed.
f) Maximum height		(1) Vertical features (including trees and vegetation) must not encroach on the Through Zone below 13'-6" height.
f) Trees		(1) Trees are required in the Flex Zone Bulbouts or in the Front Yard within 10' of the Pine Street Edge. One tree is required for every 30 linear feet (or fraction thereof) of frontage on Pine Street. Example: for 40 linear feet of frontage, two street trees would be required. Existing trees within 10' of the Pine Street Edge may count toward this requirement. Flag lots are exempt from street tree requirement. (2) Trees shall comply with Section 12.06.020, (Public Improvement Requirements), subsection 1.2 (Specifications for Trees and Plant Materials)
g) Construction and Maintenance		(1) Property owners are responsible for construction and on-going maintenance of Front Yards and Flex Zone Bulbouts associated with their property.
Additional Front Yard-specific standards See Pages 28-31 of The Pattern Book		
a) Furnishings		(1) Furnishings used to fulfill the requirement for vertical features must be at least 16 inches tall.



A property-adjacent Bulbout is required for each lot facing Pine Street.



Larger lots are required to have both property-adjacent Bulbouts and a railroad-adjacent Bulbout. The alternating pattern of Bulbouts calms automobile traffic, making the path safer and more comfortable for walking and biking.



Each Bulbout is required to have vertical elements, which helps to visually narrow the path. Vertical elements must be permanent and include bollards, landscaping and other furnishings.

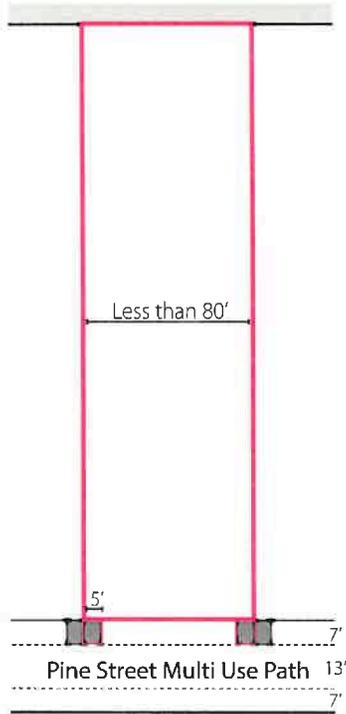
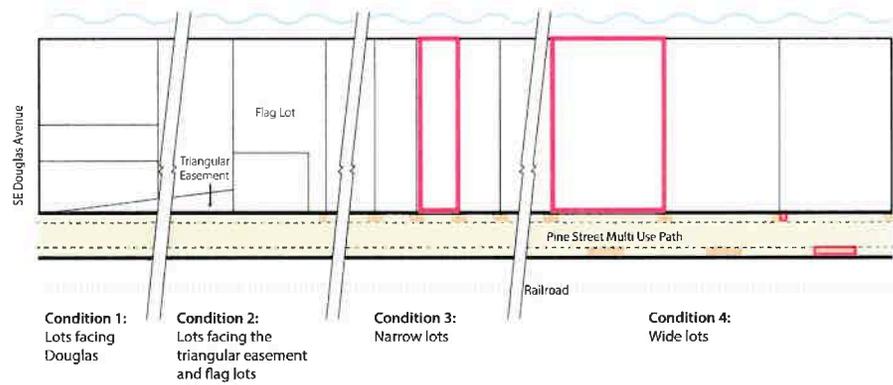
BULBOUT ESSENTIAL ELEMENTS

- Traffic calming design
- Alternating pattern along the path
- Vertical features required
- Emergency Response through access
- Property-owner flexibility
- Design and uses vary

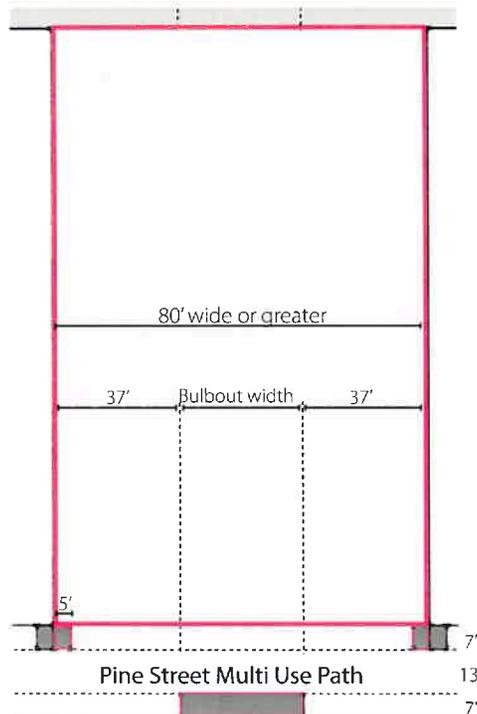
BULBOUTS

Bulbout Location and Size

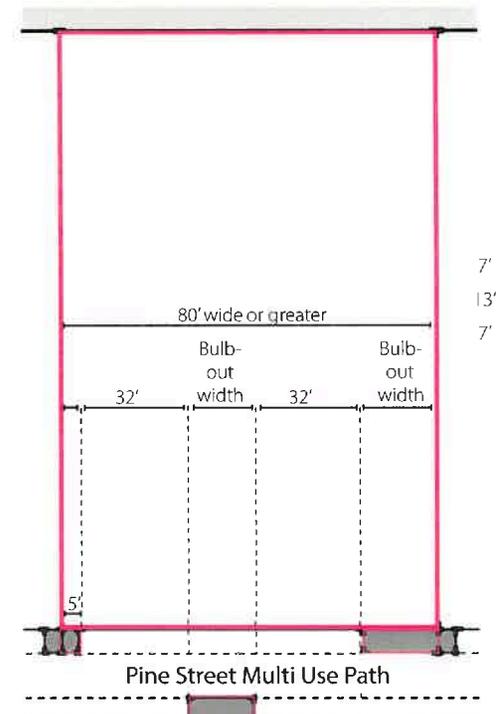
For lots facing Pine Street, there are two different conditions: lots 80 feet or wider (wide lots) and lots less than 80 feet (narrow lots). Each condition has a different approach to Bulbouts. Narrow lots only have property-adjacent Bulbouts because of emergency access needs. Wider lots will have both property and railroad-adjacent Bulbouts.



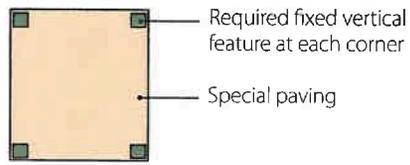
Lot Type 1
Lot width narrower than 80'



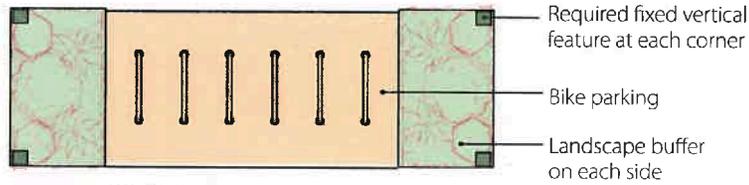
Lot Type 2
Lot width greater than 80'



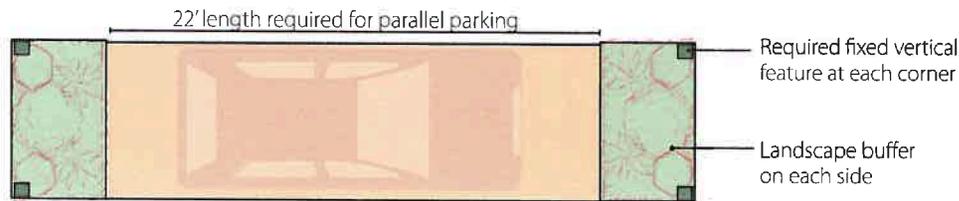
Lot Type 3
Lot greater than 80' with option for larger property-adjacent Bulbouts



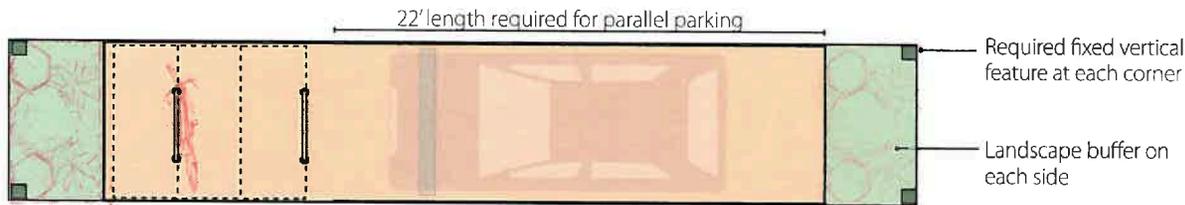
Bulbout Example 1
Less than 10'



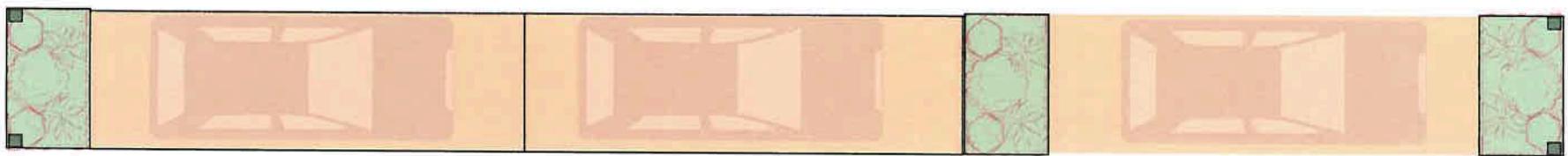
Bulbout Example 2
Less than 30'



Bulbout Example 3: 30' long



Bulbout Example 4: Over 30' long



Bulbout Example 5: Extra long

Bulbout Activities

Bulbout activities will depend in part on the size of the bulbout. For example, to fit a parking space, a bulbout will need to be a minimum of 30 feet. While bike parking, landscaping and other furnishings can be accommodated in smaller areas.

Site Design

Table 2-19 Private Property Standards, from the Overlay, lists all of the standards related to private properties. This includes the area abutting the Flex Zone (called the Front Yard), all the way to the river.

New buildings or additions may encroach into the Front Yard only when they are fronted by a porch. Buildings on the Pine Street Multi-Use Path must face the path. If a lot is long and narrow, multiple buildings are permitted, provided an accessible pedestrian path reaches the entrance of the back building or buildings. The pedestrian path must meet ADA requirements. Existing buildings are permitted to encroach into the Front Yard or exceed the maximum setback.

In addition to setbacks, Table 2-19 sets standards for building massing and height, vehicle and bicycle parking, landscaping, buffering and lighting.

The PSWO sections that are illustrated in this pattern include:

- » Table 2-18 –Vertical Features and Landscaping Standards, specifically
 - » Universal standards, and
 - » Additional Front Yard-specific standards
- » Table 2-19 – Private Property Standards
- » Table 2-20 – Architectural Standards, New Buildings and Alterations

Table 2-18

Table 2-18 –Vertical Features and Landscaping Standards		
Requirement	Standard	Limitations & Qualifications
Universal standards See Pages 20-23 of The Pattern Book		
a) Applicability		(1) Applies to Front Yards and Flex Zone Bulbouts.
b) Required vertical features		(1) Shall include furnishings, vertical landscaping, or low free-standing wall or fence that provides visual and physical separation of the Flex Zone and Front Yard from the Through Zone.
c) Furnishings		(1) Furnishings include but are not limited to: ornamental bollards, bike racks (with required clear spaces), benches or other fixed seating, fixed tables, planters, ornamental boulders (e.g. basalt columns), sculptures, permanent signage, pergolas, banner poles, trellises, light poles, or overhead string lights. (2) Movable tables and chairs are permitted but do not fulfill the vertical feature requirement.
d) Vertical landscaping		(1) Vertical landscaping includes but is not limited to: trees, woody shrubs at least 24 inches tall, plants or trees in a pot or planter, or trellised vines.
e) Walls and fences		(1) Acceptable materials for free-standing walls and fences include, but are not limited to: wood, stone, brick, ornamental CMU masonry, or metal picket. (2) Chain link fences are not allowed.
f) Maximum height		(1) Vertical features (including trees and vegetation) must not encroach on the Through Zone below 13'-6" height.
g) Trees		(1) Trees are required in the Flex Zone Bulbouts or in the Front Yard within 10' of the Pine Street Edge. One tree is required for every 30 linear feet (or fraction thereof) of frontage on Pine Street. <i>Example: for 40 linear feet of frontage, two street trees would be required. Existing trees within 10' of the Pine Street Edge may count toward this requirement. Flag lots are exempt from street tree requirement.</i> (2) Trees shall comply with Improvement Requirements (Specifications for Tree Planting).
g) Construction and Maintenance		(1) Property owners are responsible for on-going maintenance of trees in Flex Zone Bulbouts associated with their property.
Additional Front Yard-specific standards See Pages 28-31 of The Pattern Book		
a) Furnishings		(1) Furnishings used to fulfill vertical features must

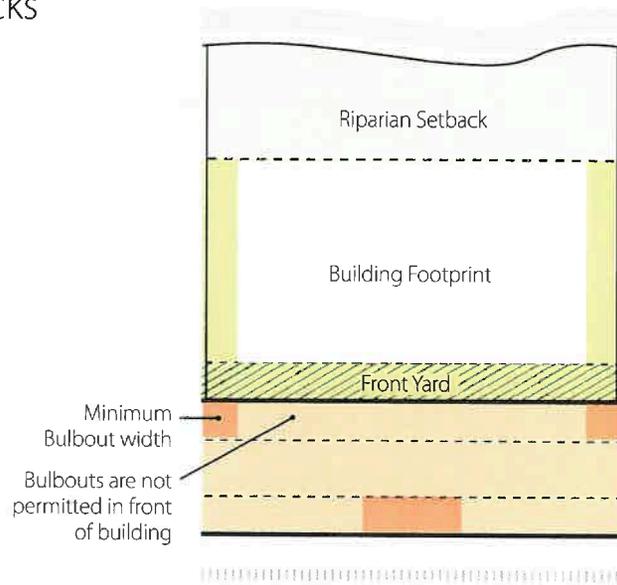
Table 2-19

Table 2-19 – Private Property Standards		
Requirement	Standard	Limitations & Qualifications
Applicability		
a) Existing buildings		(1) Unless stated otherwise, existing buildings are exempt from these standards.
b) Alterations to existing buildings		(1) Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.
Setbacks See Pages 24-31 of The Pattern Book		
c) From Pine Street Edge, minimum	0 feet	(2) New buildings or additions may encroach into the Front Yard only when they are fronted by a porch.
d) From Pine Street Edge, maximum	15 feet	(1) New buildings or additions may not exceed maximum setback.
e) From Riparian Rear Lot Line	0 feet	
f) Side	5 feet	
g) Existing buildings		(1) Existing buildings are permitted to encroach into the Front Yard or exceed the maximum setback.
Buildable area See Pages 24-26 of The Pattern Book		
a) Maximum percentage	70%	(1) Maximum buildable area applies to the lot area after the area for the Front Yard, side yards, and the riparian setback are deducted, and if required, pedestrian paths connecting rear buildings to Pine Street.
b) Multiple buildings		(1) When multiple buildings occupy a lot, a pedestrian path is required to connect them to Pine Street. (2) The pedestrian path must meet standards for accessible route(s) with appropriate paving materials meeting standards.

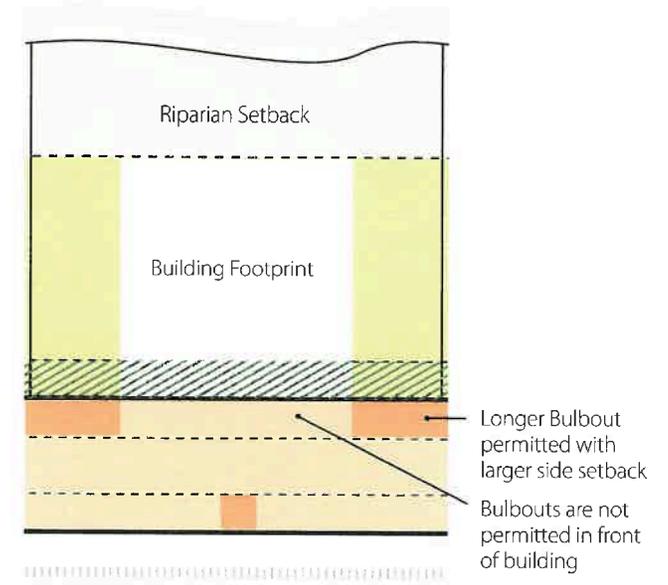
Table 2-20

Table 2-20 – Architectural Standards, New Buildings and Alterations		
Requirement	Standard	Limitations & Qualifications
Applicability		
a) Existing buildings		Unless stated otherwise, existing buildings are exempt from these standards.
b) Alterations to existing buildings		Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.
Front Porch See pages 36-39 of The Pattern Book		
a) Minimum width	15 feet	(1) An attached porch may count toward the minimum paved area. See Table 2-18.
b) Minimum depth	10 feet	(2) The porch may be incorporated into a building or treated as an attachment to a building.
Ground floor See pages 36-39 of The Pattern Book		
b) Ground floor windows	75%	50%
c) Primary building entrance	Required	Required
		(1) Applies to linear feet of façade (3) Required for each building façade facing Pine Street. (4) Shall be located on the Pine Street façade, or facing a required pedestrian path. (5) Shall be directly connected to Pine Street and shall include weather protection.

Bulbouts and Side Setbacks



Buildings must be within the minimum side setbacks. The area in front of a building needs to remain clear and no bulbouts are permitted directly in front of a building.

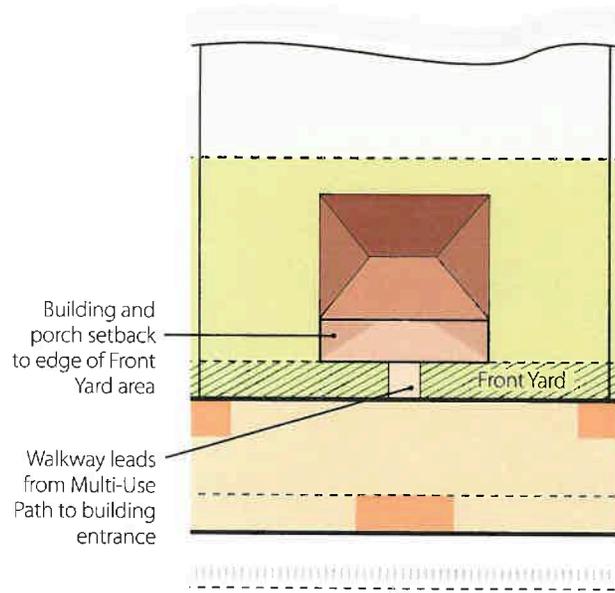


Where a larger side setback exists, a larger property-adjacent bulbouts is permitted.

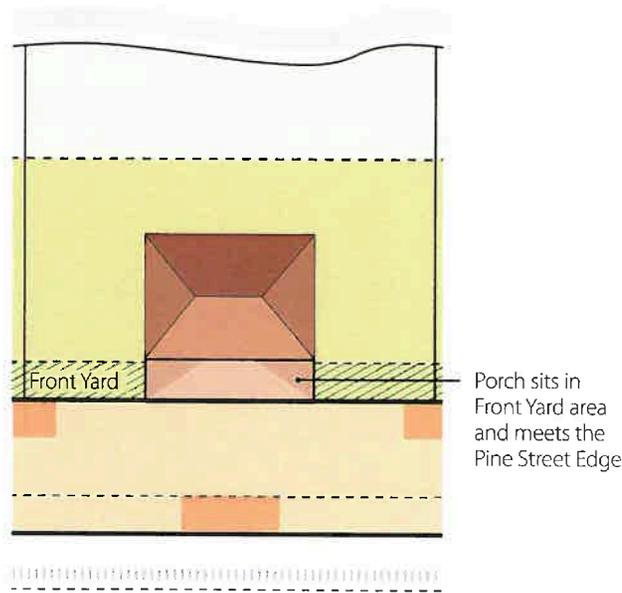
SITE DESIGN ESSENTIAL ELEMENTS

- Buildings face Pine Street
- Landscaping and paving required in front setback
- Porches may encroach into setback
- Multiple buildings are permitted on lot
- Bulbouts not permitted in front of buildings
- Emergency access to buildings is preserved

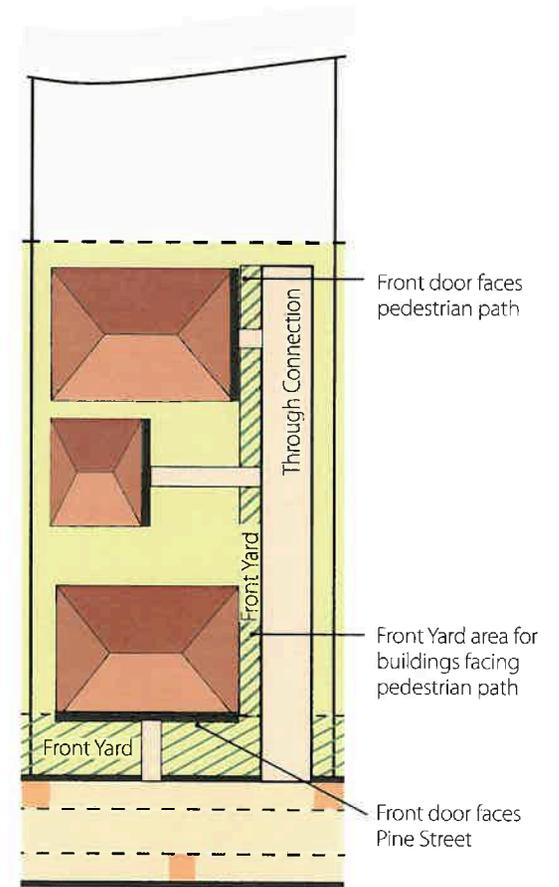
Building Orientation



Buildings can be set back to the edge of the Front Yard area.



Building porches can occupy the Front Yard area and come directly to the Pine Street Edge.



For deep lots, buildings are permitted behind the Pine Street-facing building. A Through Connection, pathways to the front door, and additional Front Yard space are required.

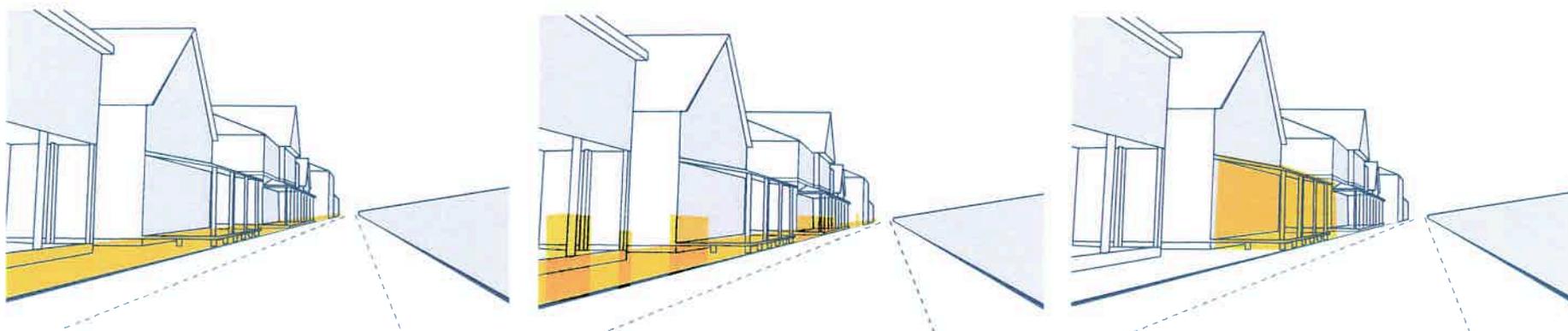
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Front Yard

The Front Yard Zone is a continuous area adjacent to the Pine Street Edge. The Front Yard provides a welcoming place and is reserved for semi-public activities. Porches are considered part of this zone.

Table 2-19

Table 2-19 – Private Property Standards		
Requirement	Standard	Limitations & Qualifications
Applicability		
a) Existing buildings		(1) Unless stated otherwise, existing buildings are exempt from these standards.
b) Alterations to existing buildings		(1) Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.
Setbacks See Pages 24-31 of The Pattern Book		
c) From Pine Street Edge, minimum	0 feet	(2) New buildings or additions may encroach into the Front Yard only when they are fronted by a porch.
d) From Pine Street Edge, maximum	15 feet	(1) New buildings or additions may not exceed maximum setback.
e) From Riparian Rear Lot Line	0 feet	
f) Side	5 feet	
g) Existing buildings		(1) Existing buildings are permitted to encroach into the Front Yard or exceed the maximum setback.
Buildable area See Pages 24-26 of The Pattern Book		
a) Maximum percentage	70%	(1) Maximum buildable area applies to the lot area after the area for the Front Yard, side yards, and the riparian setback are deducted, and if required, pedestrian paths connecting rear buildings to Pine Street.
b) Multiple buildings		(1) When multiple buildings occupy a lot, a pedestrian path is required to connect them to Pine Street. (2) The pedestrian path must meet standards for accessible route(s) with appropriate paving materials meeting current ADA standards.
c) Maximum building footprint	3,600 sq. feet	(1) Maximum footprint for a single building.
Building height		
a) Maximum number of stories	2	(1) Per 12.02.090 Definitions, a Story is defined as "That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the



The Front Yard is the space between the Pine Street Edge and the Private Development Zone.

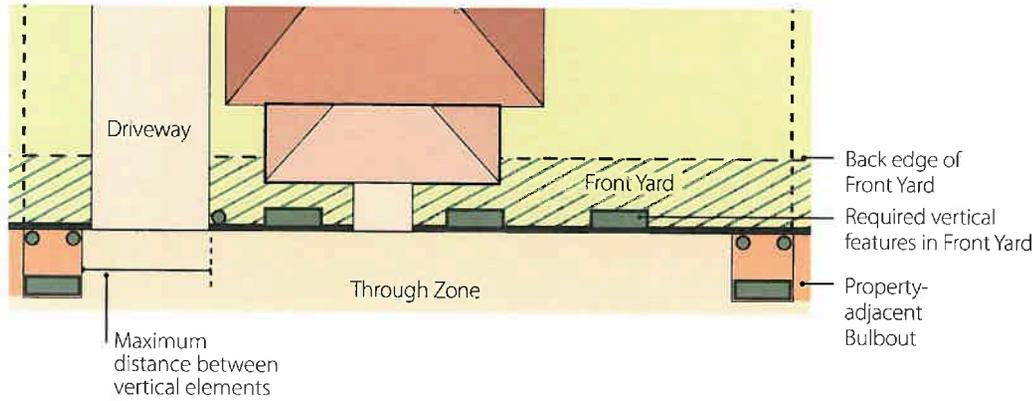
Vertical elements are required in the Front Yard. These elements are intended to create a visual edge that both defines the private space and invites people in.

Porches fulfill the vertical features requirement and percentage of paved area.

ESSENTIAL ELEMENTS

- Welcoming character
- Functional space for uses
- Activities permitted: Bicycle parking, driveway, landscaping, outdoor tables and seating, signage, and retail displays
- Porches are allowed in the Front Yard space
- Vertical features create an edge

FRONT YARD



The Front Yard may be paved with pavers, brick, flagstone, scored concrete, compacted crushed rock, wood deck, or a wood boardwalk. Porches may count toward the minimum paved area. The porch may be incorporated into a building or treated as an attachment to a building.



Vertical features in the Front Yard include furnishings, vertical landscaping, or low free-standing wall or fence that provides visual and physical separation of the Flex Zone and Front Yard from the Through Zone.



Front Yard paving and furnishings. Different paving materials clearly mark the Multi-Use Path through zone from the Front Yard. The stormwater swale and tree plantings in the center provide space for sitting and bring in natural shade. Other areas are defined by tables, umbrellas, and bollards.

Building Shape

Typical patterns that can be found in the Pine District are represented in massing and composition diagrams. They show the simple forms and variations from the simple form, including elements such as porches, dormers, and wings.

Classic façade composition is characterized by symmetrical and balanced placement of doors and windows. Windows most often occur in singles or in pairs and are vertically oriented. Entrance doors are generally located in the center of the façade.

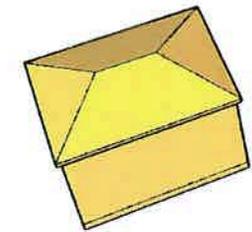
Building shapes for new construction on Pine Street will have similar house-like scale and form of historic buildings while maintaining contemporary style.

Table 2-19

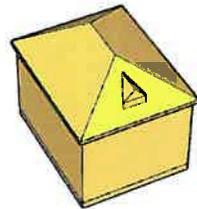
Table 2-19 – Private Property Standards		
Requirement	Standard	Limitations & Qualifications
Applicability		
a) Existing buildings		(1) Unless stated otherwise, existing buildings are exempt from these standards.
b) Alterations to existing buildings		(1) Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.
Setbacks See Pages 24-31 of The Pattern Book		
c) From Pine Street Edge, minimum	0 feet	(2) New buildings or additions may encroach into the Front Yard only when they are fronted by a porch.
d) From Pine Street Edge, maximum	15 feet	(1) New buildings or additions may not exceed maximum setback.
e) From Riparian Rear Lot Line	0 feet	
f) Side	5 feet	
g) Existing buildings		(1) Existing buildings are permitted to encroach into the Front Yard or exceed the maximum setback.
Buildable area See Pages 24-26 of The Pattern Book		
a) Maximum percentage	70%	(1) Maximum buildable area applies to the lot area after the area for the Front Yard, side yards, and the riparian setback are deducted, and if required, pedestrian paths connecting rear buildings to Pine Street.
b) Multiple buildings		(1) When multiple buildings occupy a lot, a pedestrian path is required to connect them to Pine Street. (2) The pedestrian path must meet standards for accessible route(s) with appropriate paving materials meeting standards.

Table 2-20

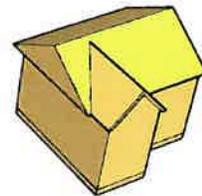
Table 2-20 – Architectural Standards, New Buildings and Alterations			
Requirement	Standard		Limitations & Qualifications
Applicability			
a) Existing buildings	Unless stated otherwise, existing buildings are exempt from these standards.		
b) Alterations to existing buildings	Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.		
Front Porch See pages 36-39 of The Pattern Book			
a) Minimum width	15 feet	-	(1) An attached porch may count toward the minimum paved area. See Table 2-18.
b) Minimum depth	10 feet	-	(2) The porch may be incorporated into a building or treated as an attachment to a building.
Ground floor See pages 36-39 of The Pattern Book			
b) Ground floor windows	75%	50%	(1) Applies to linear feet of façade
c) Primary building entrance	Required	Required	(3) Required for each building façade facing Pine Street. (4) Shall be located on the Pine Street façade, or facing a required pedestrian path. (5) Shall be directly connected to Pine Street and shall include weather protection.



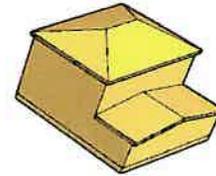
2-story basic



2-story front hip gable



2-story L-shape

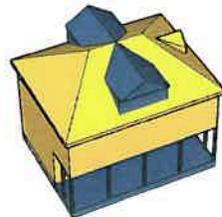
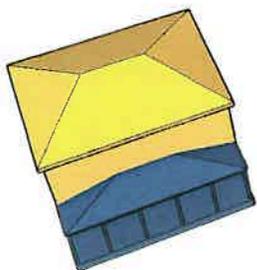


2-story basic with add-on

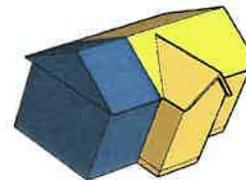
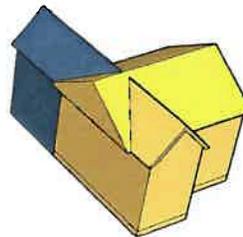
ESSENTIAL ELEMENTS

- Victorian-compatible
- House-like scale and character
- 2-story
- Porches integral to building shape
- Accommodates emergency response

Possible Massing Variations



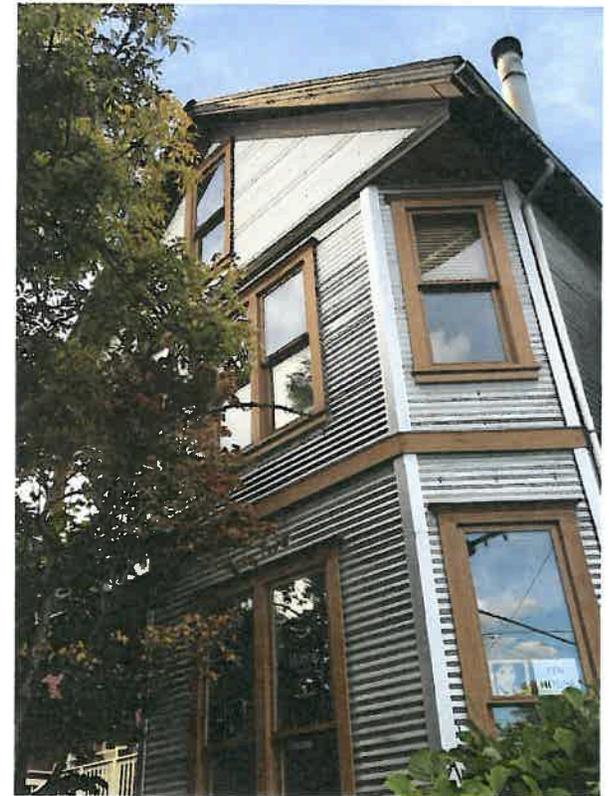
Possible massing variations include projecting hip-roofed single-story porches, recessed porches, dormers, rear and side wings.



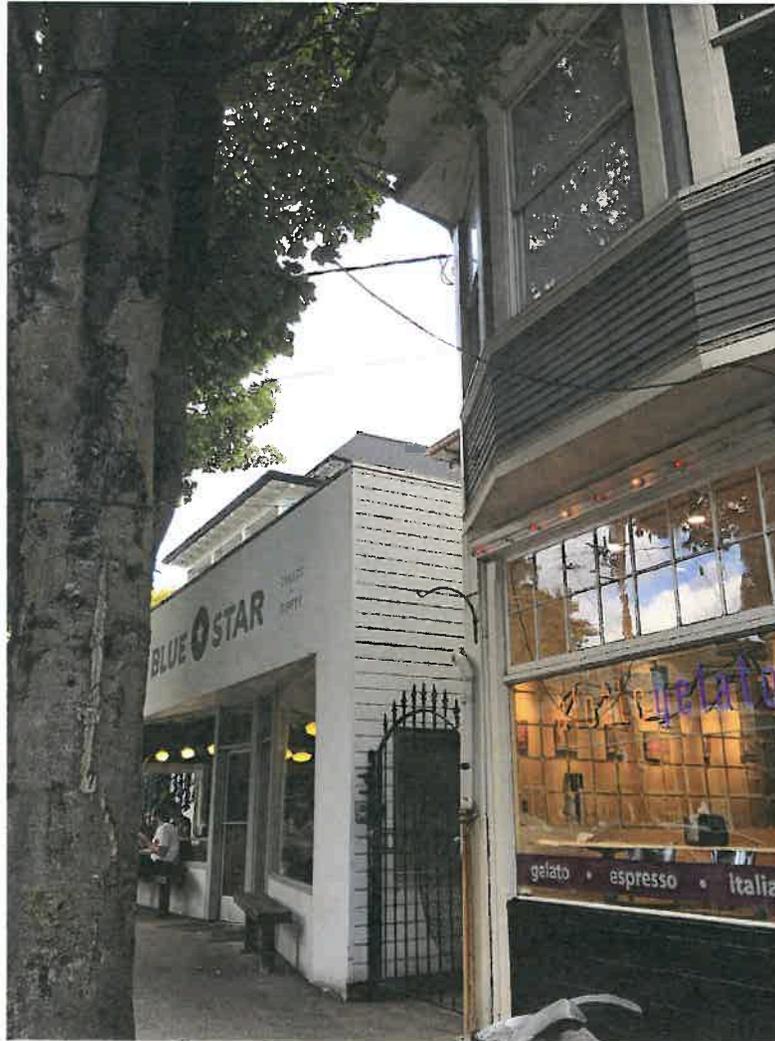
BUILDING SHAPE



Victorian massing variations. A projecting porch as a retail entry.



Alterations in contemporary materials. Alterations to a Victorian may be carried out with modern materials.



Additions in contemporary architectural style. Additions in front of (as on the left) or beside (as on the right) a Pine Street Victorian should be contemporary in architectural style, and not imitative of historic Victorian details. Massing of new buildings or additions should be consistent with the scale of the Victorian buildings, however.

Porches

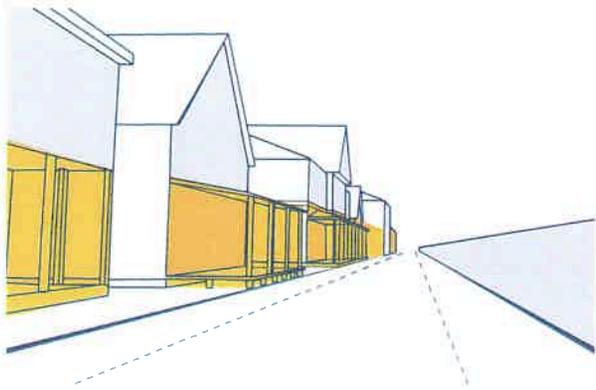
Porches serve a number of functions and are characteristic of many of the buildings on Pine. They can act as a transitional space between public and private, they provide weather protection and are visually interesting for people walking or biking by. They can also serve to announce the presence of a business with outdoor dining tables or merchandise on the porch, which remains both protected from the elements and visible.

Both recessed and projecting porches are found on Pine. Recessed porches are housed within the basic form of the building, while projecting porches protrude out from the basic form. Projecting porches commonly have a hipped-roof shape, matching the main roof structure.

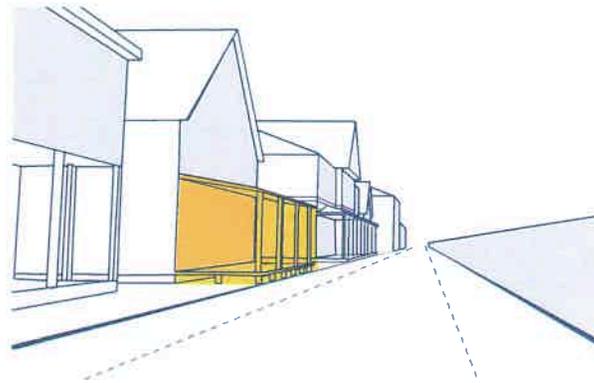
Porches often span the entire width of the front façade, making them a prominent feature of the buildings and of the district.

Table 2-20

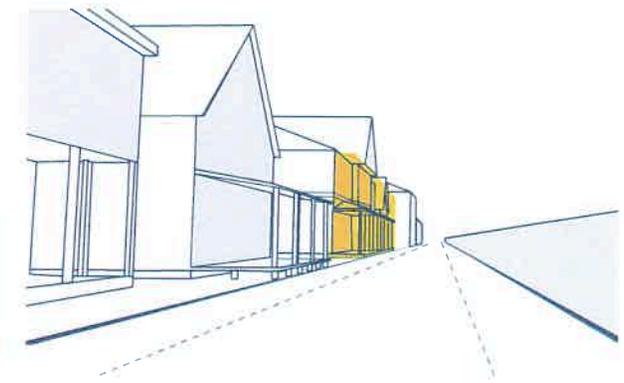
Table 2-20 – Architectural Standards, New Buildings and Alterations			
Requirement	Standard		Limitations & Qualifications
	Pine Street Edge or Douglas Avenue	Required pedestrian path and Riparian Edge	
Applicability			
a) Existing buildings	Unless stated otherwise, existing buildings are exempt from these standards.		
b) Alterations to existing buildings	Unless stated otherwise, these standards apply to alterations that exceed 30% of the square footage of the existing building.		
Front Porch <i>See pages 36-39 of The Pattern Book</i>			
a) Minimum width	15 feet	–	(1) An attached porch may count toward the minimum paved area. See Table 2-18.
b) Minimum depth	10 feet	–	(2) The porch may be incorporated into a building or treated as an attachment to a building.
Ground floor <i>See pages 36-39 of The Pattern Book</i>			
b) Ground floor windows	75%	50%	(1) Applies to linear feet of façade
c) Primary building entrance	Required	Required	(3) Required for each building façade facing Pine Street. (4) Shall be located on the Pine Street façade, or facing a required pedestrian path. (5) Shall be directly connected to Pine Street and shall include weather protection.



Every building within the Pine Street Waterfront Overlay needs a porch.



Porches are permitted in the Front Yard area and fulfill the vertical features requirement.

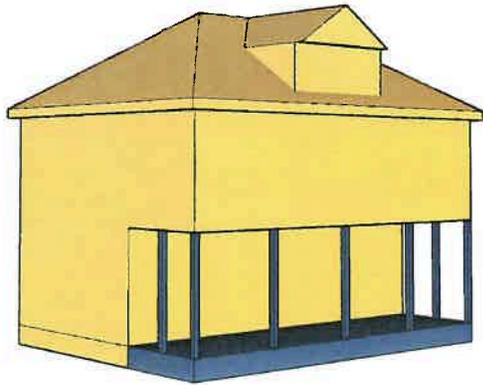


Porches may be single or double height and may be recessed or projecting.

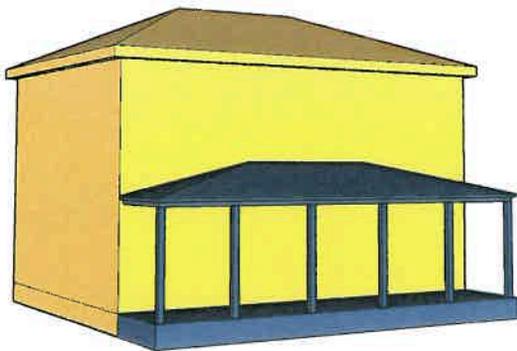
ESSENTIAL ELEMENTS

- Required for each building
- Face Pine Street Multi-Use Path
- Inviting
- Semi-public space for dining, socializing or displaying merchandise

PORCHES



Recessed porch



Projecting hip-roofed porch



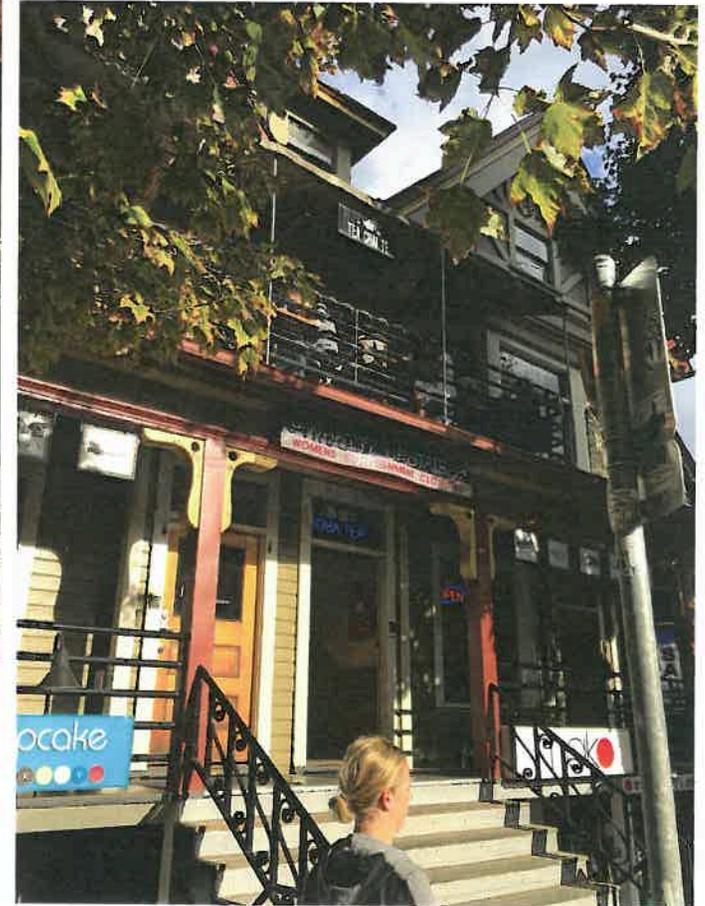
Porches in the Pine Street district. For the PSWO, a porch is defined as a structure attached to a building to shelter an entrance or to serve as a semi-enclosed space; usually roofed and generally open-sided; it may be partially screened or glass-enclosed. It may be either incorporated into a building or treated as an applied feature on the exterior.





Portions of buildings without porches.

When a portion of a building without a porch faces Pine Street, it should have large scale windows. These may slide open during nice weather, creating a fluidity between inside and outside.



Double height porches. Porches may be two stories tall.

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Considerations

IN THIS SECTION

- » Signs
- » Art
- » Parking Management
- » District Marker

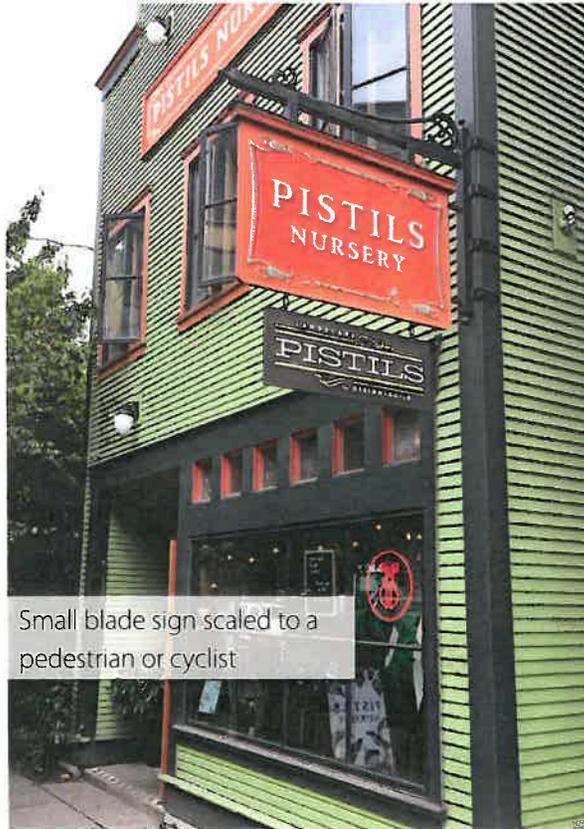


Signs

Signs are an integral part of a commercial district and often serve multiple purposes. They communicate direction and help with wayfinding; they promote area businesses, announcing their presence and providing other vital information about services and hours of operation. They can provide historical or cultural information about the district, helping to contextualize a specific place or event.

Signs should relate well to buildings and enhance their architectural features with careful attention to details, materials, size and location. They should complement the desired character of Pine Street which is eclectic, small scale, historic and connected to the river.

The Overlay lays out Pine Street-specific standards that are appropriate for small-scale pedestrian activity and cars traveling at very low speeds. As such, the standards limit sign areas substantially and reduce the number of signs allowable per-building.





Multiple businesses share one sign post, creating a cohesive look



Wall sign on a windowless side of the building adds graphic texture and interest



Roseburg Pine Street Waterfront Overlay Pattern Book

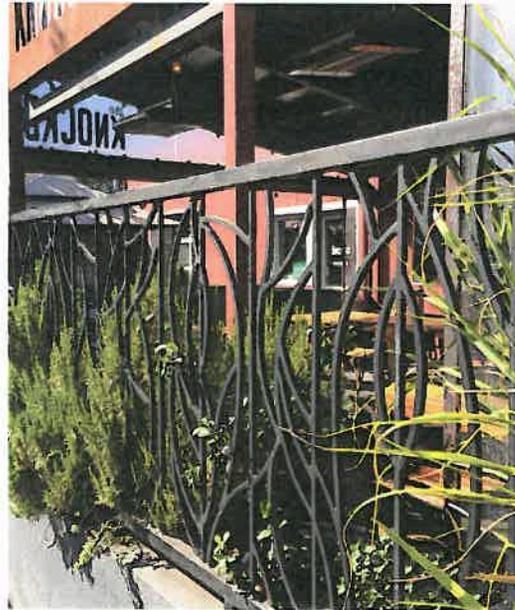


Considerations

Art

Art in the public realm is an important component of a well-designed and rich district. It can serve as a colorful splash on an otherwise blank wall or fence. Artwork can highlight historically and culturally significant areas or events and showcase the identity of a community. It can be used as a landmark and an identifiable marker that is easy for people to navigate to. Often times successful public art will serve multiple functions at the same time.

Public art can be used as a tool to bring people together. For example, one option for the Pine District might be to have a City-sponsored mural art program where multiple artists participate in beautifying a street or wall. This kind of participation helps foster ownership and further contributes to the place.

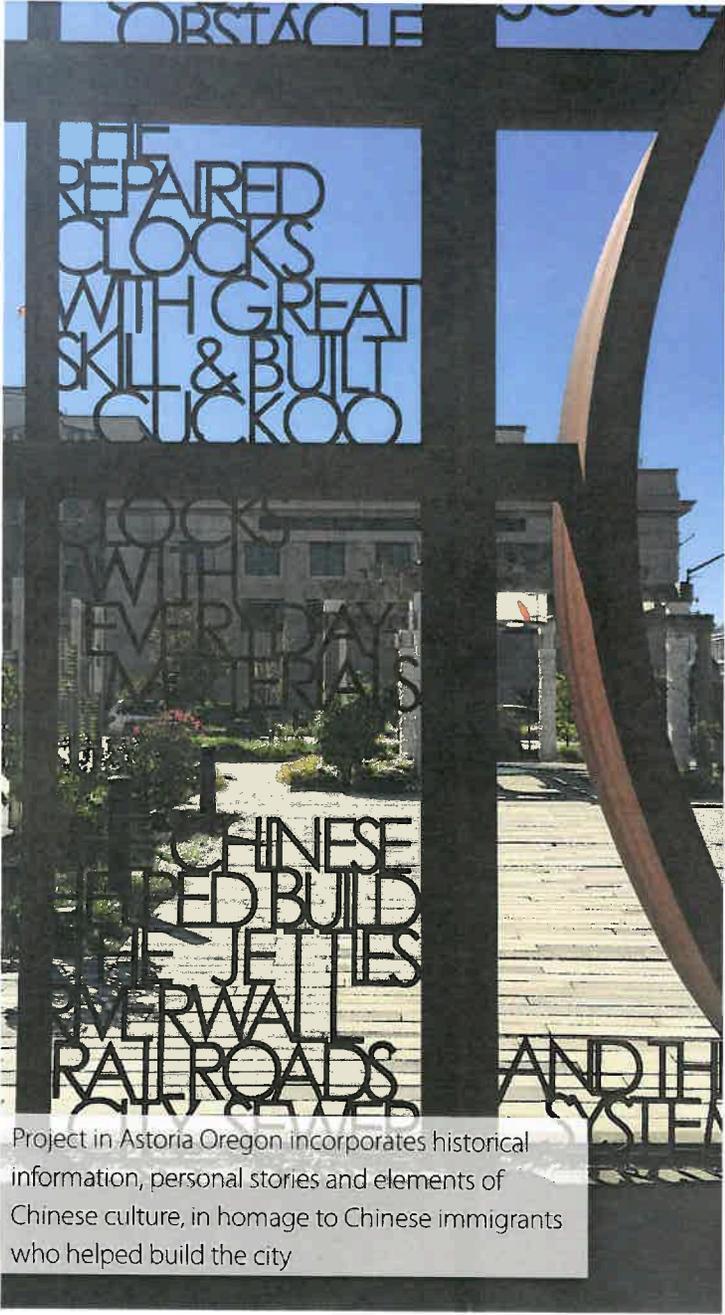


Colorful mural along a windowless side wall



Brightly painted sidewalk art





Project in Astoria Oregon incorporates historical information, personal stories and elements of Chinese culture, in homage to Chinese immigrants who helped build the city

Roseburg Pine Street Waterfront Overlay Pattern Book



Informative sign helps a viewer navigate the plaza

Considerations



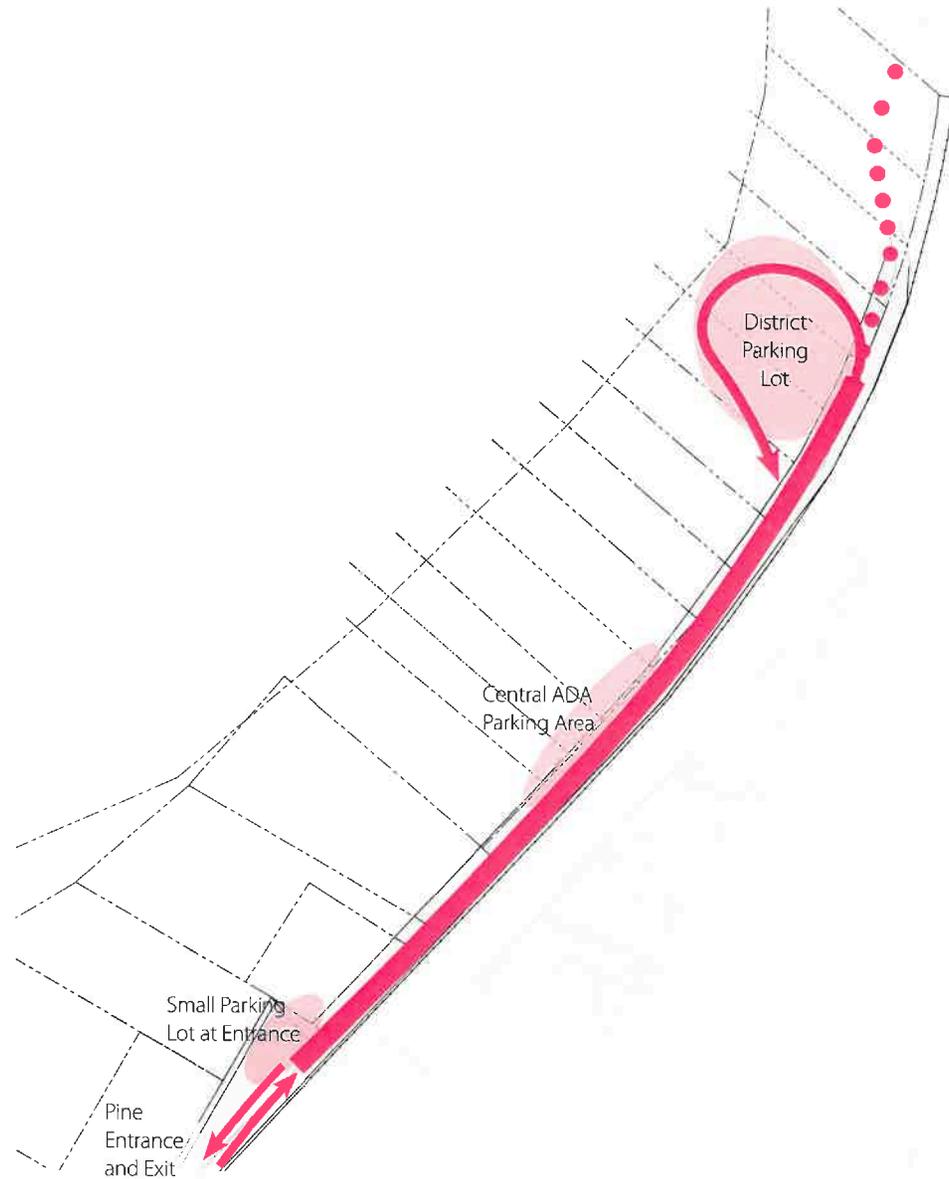
Gateway with graphic text creates a dramatic entrance to the public plaza

Parking Management

Small amounts of parking are permitted on-site, but the usual off-street parking requirements for automobiles have been eliminated in the Overlay. There is potential for a municipal parking lot at the end of Pine Street, as well as opportunities for on-street parking throughout. The Overlay will also enable shared parking arrangements with development that is nearby but outside of the study area.

Vehicle volumes on Pine street itself can be influenced through a parking management plan. The plan could consider:

- » Where parking is located
- » How much parking there is
- » Who is using it (short or long term)
- » How it is managed (time limits, permits, paid)
- » How/whether information is provided
- » If a shared lot is desired at the north end of the street, consider a system to provide information about when the lot is full and direct people to other parking opportunities nearby
- » Monitor travel uses on Pine Street to better understand volumes and speeds of users
- » Comprehensive data collection effort after approximately 20% of likely development has occurred



District Marker

Gateway structures or large-scale signs are options to help mark the Pine Street area. Seen from a distance, they can be a good orienting device and announce the District's presence throughout the downtown area. There are several opportunities for such signage including at the entrance to Pine Street or facing the intersection of NE Diamond Lake Boulevard.



Figure 2-17 Pine Street Waterfront Overlay

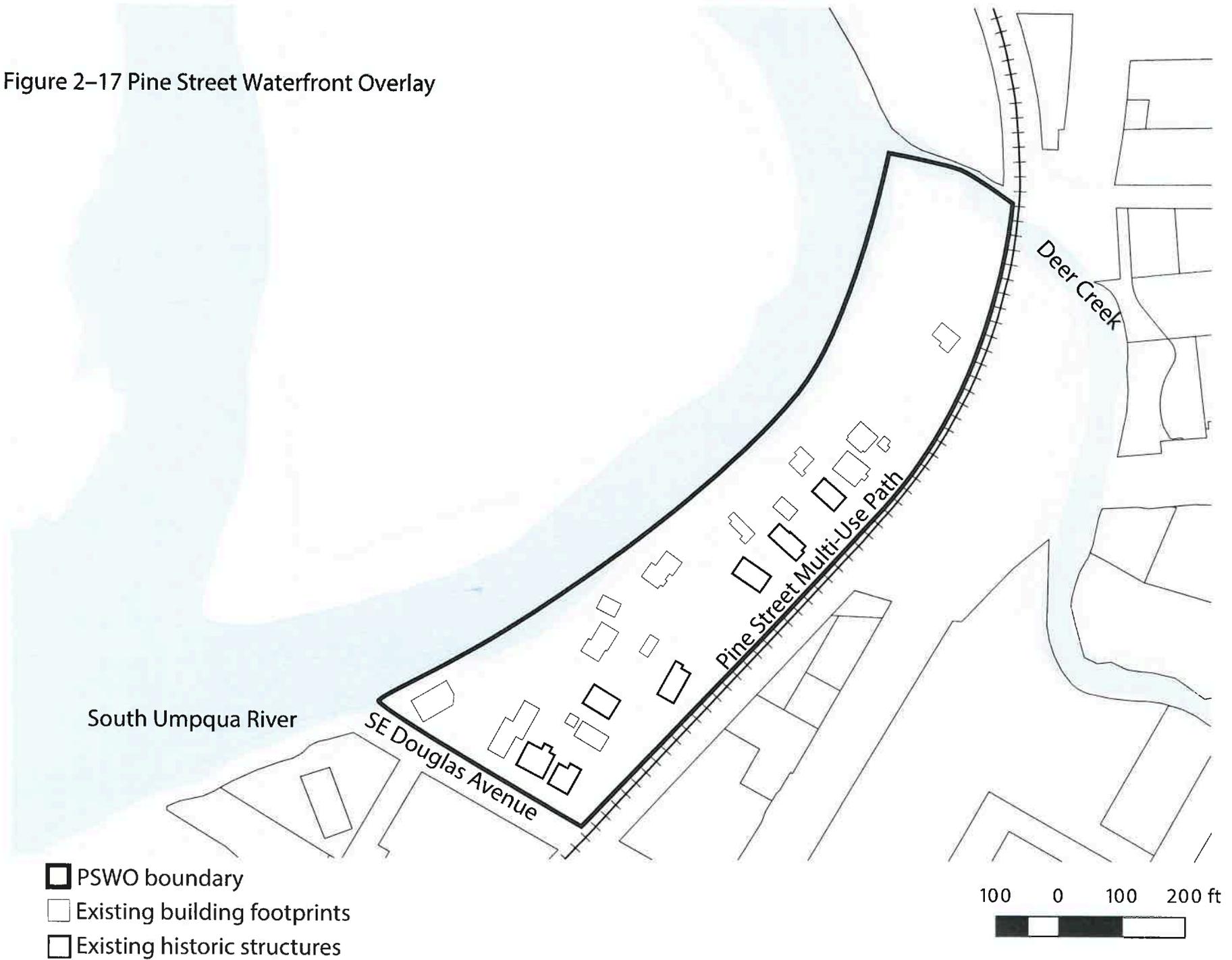


Figure 2-18 Section Diagram

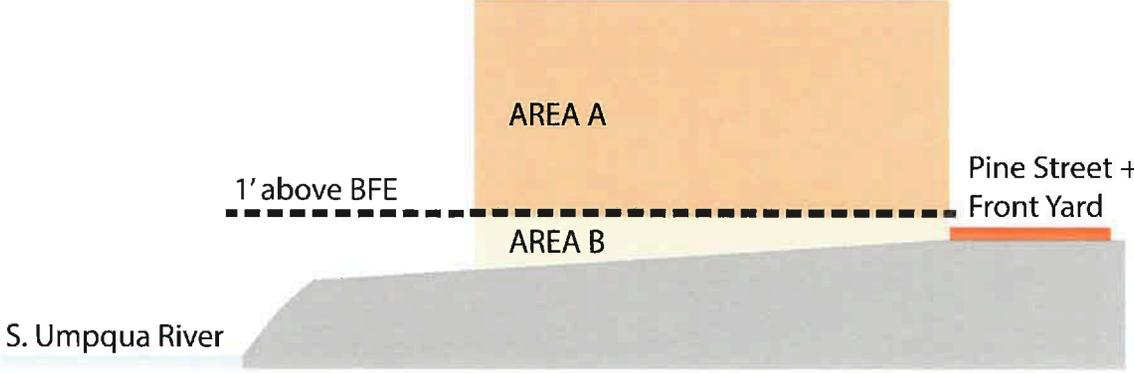


Figure 2-19 Plan Diagram

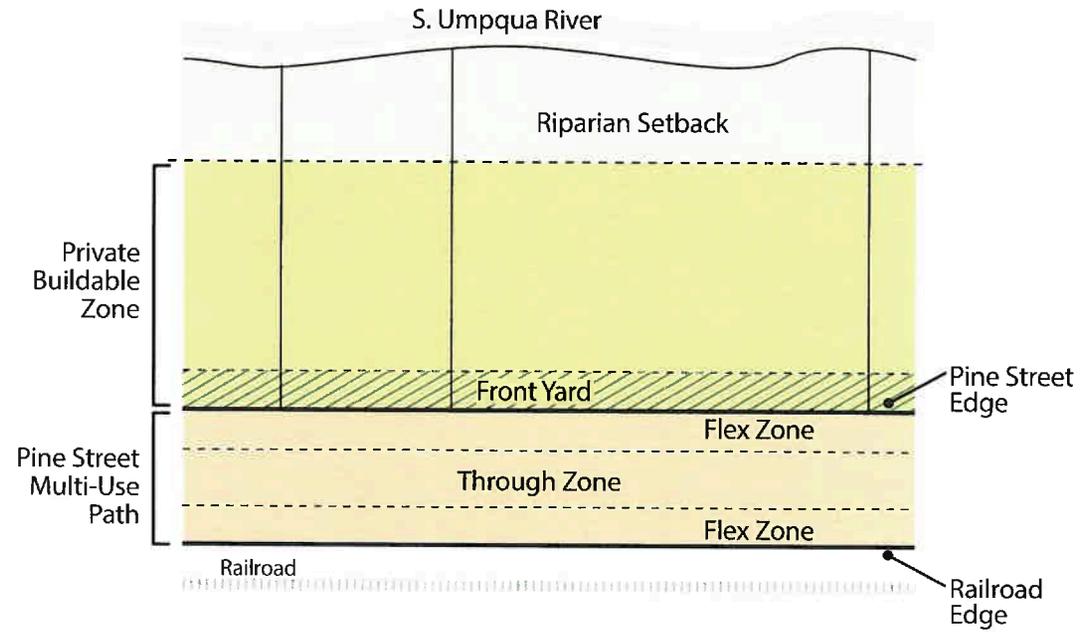
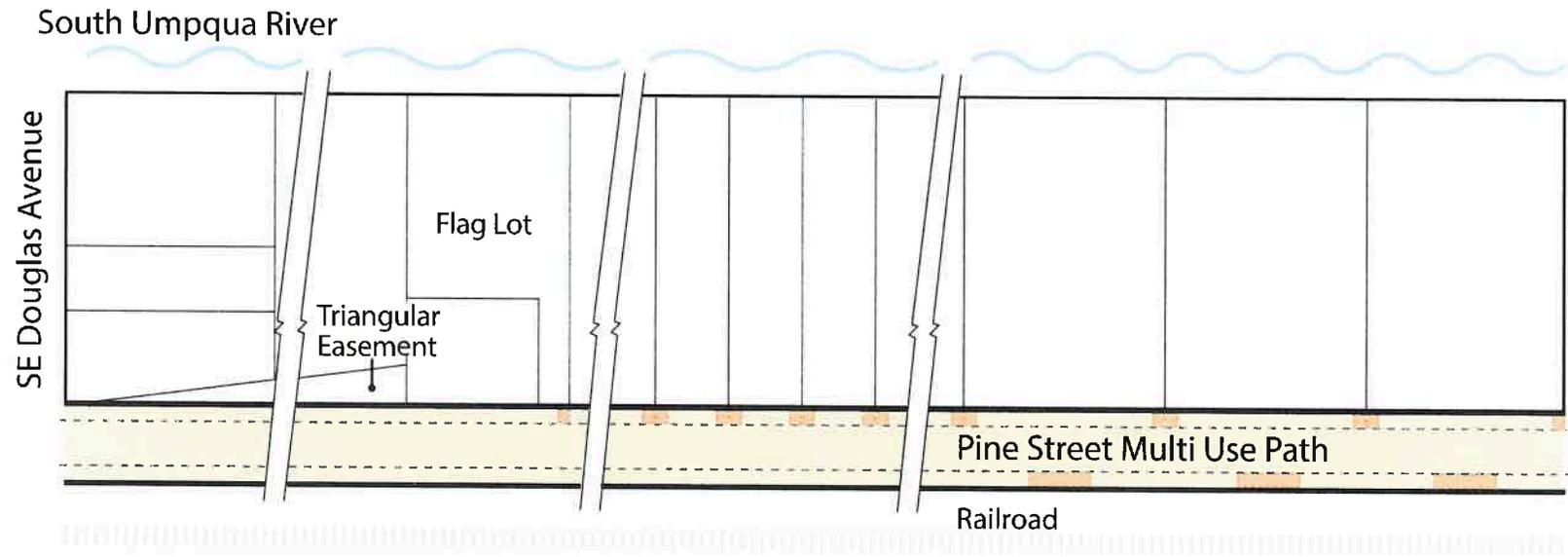


Figure 2-20 Pine Street Plan



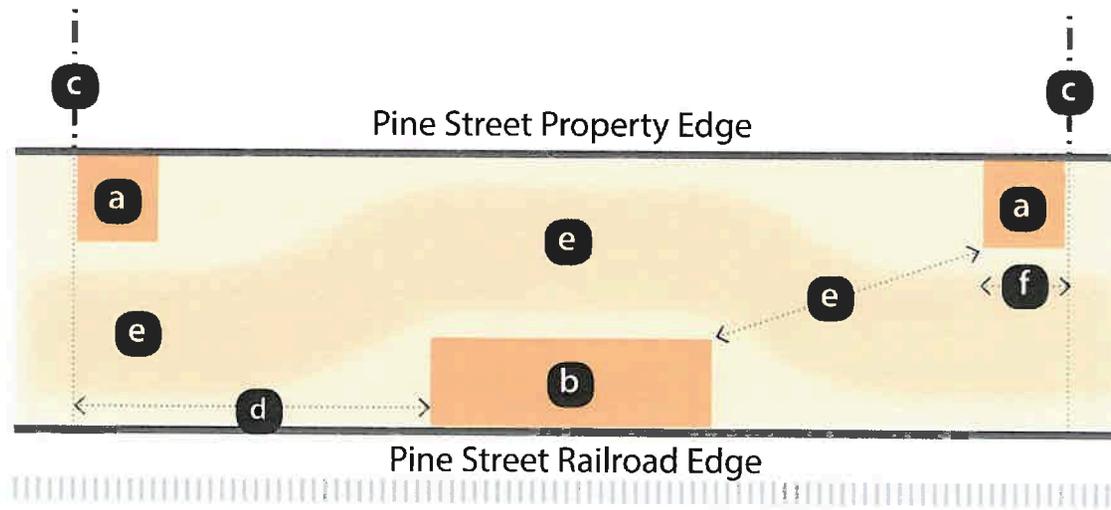
Condition 1:
Lots facing
Douglas Ave

Condition 2:
Lots facing triangular
easement + flag lots

Condition 3:
Narrow lots

Condition 4:
Wide lots

Figure 2-21 Multi-Use Path Plan Diagram



- a** Property-adjacent Bulbout
- b** Railroad-adjacent Bulbout
- c** Side lot line
- d** 37' Clear distance from edge of side lot to edge of railroad-adjacent Bulbout
- e** 20' Through Zone
- f** 5' minimum distance from edge of lot line to edge of property-adjacent Bulbout